

PB# 99-38

**Petro Metals &
N.Plank Devel. Inc.
(WITHDRAWN)
35-1-102.1**

Withdrawn

TOWN OF NEW WINDSOR
PLANNING BOARD

~~APPROVED COPY~~
Withdrawn

DATE: 10-3-02

Myra,

10/1/02

Please Close out
File #9938. WE ARE
Done with ^{IT.}
35-1-102.1 TAKES

Jim Pet

RETAKE OF PREVIOUS DOCUMENT

Myra,

10/1/02

Please Close out
File #9938. WE ARE

Done with IT.
TAKES

35-1-102.1

Ami PBT

-----X
In the Matter of the Application of

PETRO METALS, INC.

MEMORANDUM OF
DECISION GRANTING
AREA VARIANCE

#00-04.
-----X

WHEREAS, PETRO METALS, INC., a corporation with a mailing address at P. O. Box 928, Vails Gate, N. Y. 12584, have made application before the Zoning Board of Appeals for a 14 space parking variance in order to construct two buildings on west side of Windsor Highway in an C zone; and

WHEREAS, a public hearing was held on the 28th day of February, 2000 before the Zoning Board of Appeals at the Town Hall, New Windsor, New York; and

WHEREAS, the Applicant was represented by Gregory Shaw, P. E.; and

WHEREAS, there were no spectators appearing at the public hearing; and

WHEREAS, no one spoke in favor or opposition to this Application; and

WHEREAS, a decision was made by the Zoning Board of Appeals on the date of the public hearing granting the application; and

WHEREAS, the Zoning Board of Appeals of the Town of New Windsor sets forth the following findings in this matter here memorialized in furtherance of its previously made decision in this matter:

1. The notice of public hearing was duly sent to residents and businesses as prescribed by law and in The Sentinel, also as required by law.

2. The evidence presented by the Applicant showed that:

(a) The property is a commercial property located adjacent to other commercial properties on a busy state highway.

(b) The Applicant proposes to develop the property in accordance with its zoning uses but requests a parking variance in order to do so.

(c) The Applicant proposes to place two one-story office or retail buildings on the premises. The proposal has been configured to permit the maximum parking which the site affords if the two buildings are constructed.

(d) If the variance is approved, the Applicant is still subject to site plan approval by the Planning Board before a building permit can be issued.

(f) The site would have provided sufficient parking under the Zoning Code which was changed after the project was begotten.

WHEREAS, The Zoning Board of Appeals of the Town of New Windsor makes the following conclusions of law here memorialized in furtherance of its previously made decision in this matter:

1. The requested variance will not produce an undesirable change in the character of the neighborhood or create a detriment to nearby properties.

2. There is no other feasible method available to the Applicant which can produce the benefits sought.

3. The variance requested is substantial in relation to the Town regulations but nevertheless is warranted for the reasons listed above.

4. The requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district.

5. The difficulty the Applicant faces in conforming to the bulk regulations is self-created but nevertheless should be allowed.

6. The benefit to the Applicant, if the requested variance is granted, outweighs the detriment to the health, safety and welfare of the neighborhood or community.

7. The requested variance as previously stated is reasonable in view of the size of the buildings, their location, and their appearance in relation to other buildings in the neighborhood.

8. The interests of justice will be served by allowing the granting of the requested area variance.

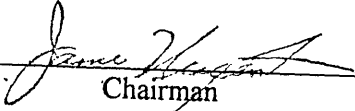
NOW, THEREFORE, BE IT

RESOLVED, that the Zoning Board of Appeals of the Town of New Windsor GRANT a request for a variance of 14 spaces to Applicant in order to construct two buildings on the west side of Windsor Highway in a C zone.

BE IT FURTHER

RESOLVED, that the Secretary of the Zoning Board of Appeals of the Town of New Windsor transmit a copy of this decision to the Town Clerk, Town Planning Board and Applicant.

Dated: April 24, 2000.


Chairman

#126A 1-24-2000
SET UP FOR P/A

OFFICE OF THE PLANNING BOARD - TOWN OF NEW WINDSOR
ORANGE COUNTY, NY #2 CBA 2-28-00

APPROVED

NOTICE OF DISAPPROVAL OF SITE PLAN OR SUBDIVISION APPLICATION

PLANNING BOARD FILE NUMBER: 99-38

DATE: 5 JAN 00

APPLICANT: PETRO METALS INC

P.O. BOX 928

VAILS GATE N.Y 12584

PLEASE TAKE NOTICE THAT YOUR APPLICATION DATED 6 DEC 00

FOR (~~SUBDIVISION~~ - SITE PLAN) _____

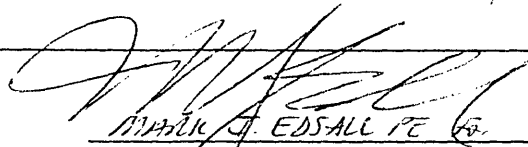
LOCATED AT WEST SIDE WINDSOR HWY

ZONE C

DESCRIPTION OF EXISTING SITE: SEC: 35 BLOCK: 1 LOT: 102.1

IS DISAPPROVED ON THE FOLLOWING GROUNDS: _____

PARKING SPACE VARIANCE REQ'D.



MICHAEL J. EDSALL PE
MICHAEL BABCOCK,
BUILDING INSPECTOR

<u>REQUIREMENTS</u>		<u>PROPOSED OR AVAILABLE</u>	<u>VARIANCE REQUEST</u>
ZONE <u>C</u>	USE _____		
MIN. LOT AREA	<u>40 000 SF</u>	<u>87 423 SF</u>	
MIN. LOT WIDTH	<u>200 FT</u>	<u>220 FT</u>	
REQ'D FRONT YD	<u>60 FT</u>	<u>144 FT</u>	
REQ'D SIDE YD.	<u>30 FT</u>	<u>30 FT</u>	
REQ'D TOTAL SIDE YD.	<u>70 FT</u>	<u>70 FT</u>	
REQ'D REAR YD.	<u>30 FT</u>	<u>30 FT</u>	
REQ'D FRONTAGE	<u>N/A</u>	<u>220 FT</u>	
MAX. BLDG. HT. <u>12' FT MAX = 30'</u>		<u>24' 6"</u>	
FLOOR AREA RATIO	<u>0.50</u>	<u>0.14</u>	
MIN. LIVABLE AREA	<u>N/A</u>	<u>N/A</u>	
DEV. COVERAGE	<u>N/A</u> %	<u>N/A</u> %	<u> </u> %
O/S PARKING SPACES	<u>114</u>	<u>100</u>	<u>14</u>

APPLICANT IS TO PLEASE CONTACT THE ZONING BOARD SECRETARY AT:
(914-563-4630) TO MAKE AN APPOINTMENT WITH THE ZONING BOARD
OF APPEALS.

CC: Z.B.A., APPLICANT, P.B. ENGINEER, P.B. FILE



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
4 BURNETT BOULEVARD
POUGHKEEPSIE, N.Y. 12603

ROBERT A. DENNISON III, P.E.
REGIONAL DIRECTOR

JOSEPH H. BOARDMAN
COMMISSIONER

April 5, 2000

Mr. Mark J. Edsall, P. E.
Planning Board Engineer
Town of New Windsor
555 Union Avenue
New Windsor, New York 12553

Dear Edsall:

RE: STATE ENVIRONMENTAL QUALITY REVIEW

Proposed "Petro Metals / North Plank Development Site Plan
17000 SQFT Retail and Office Space
Route 32
Town of New Windsor, Orange County



This Department has no objection to the Town of New Windsor Planning Board assuming the role of lead agency for this action.



We have reviewed the Environmental Assessment Form (EAF) and find the estimated number of vehicular trips to be reasonable.



If a Draft Environmental Impact Statement or Traffic Study is prepared for the proposed project, please forward a copy to us for review.

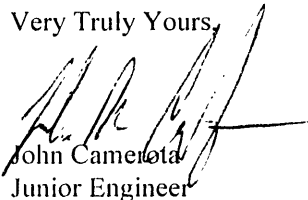


Please be aware that a State Highway Work Permit will be required for any curb cuts and/or work within the Route 32 or any New York State Department of Transportation right-of-way.



Other:

Very Truly Yours,


John Camerota
Junior Engineer

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

99-88

PROJECT I.D. NUMBER

617.21

SEQR

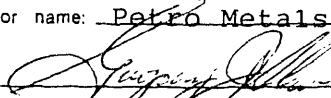
Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <u>Petro Metals, Inc. & North Plank Devel.</u>	2. PROJECT NAME <u>Corp. New Office/Retail Buildings</u>
3. PROJECT LOCATION: Municipality <u>Town Of New Windsor</u> County <u>Orange</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>West side of Windsor Highway, 400 feet south of Washington Drive</u>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Construction of a 12,000 S.F. building and a 5,000 S.F. building for office and retail use</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>2.0</u> acres Ultimately <u>2.0</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <u>NYSDOT Highway Work Permit</u>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Petro Metals, Inc. & North Plank Devel. Corp.</u> <u>Dec. 6, 1999</u>	
Signature: <u></u> <u>Engineer For Applicant</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

RECEIVED DEC 13 1999

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
☐ Yes ☒ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
☐ Yes ☒ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

No

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
☐ Yes ☒ No If Yes, explain briefly

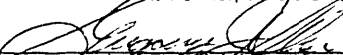
PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

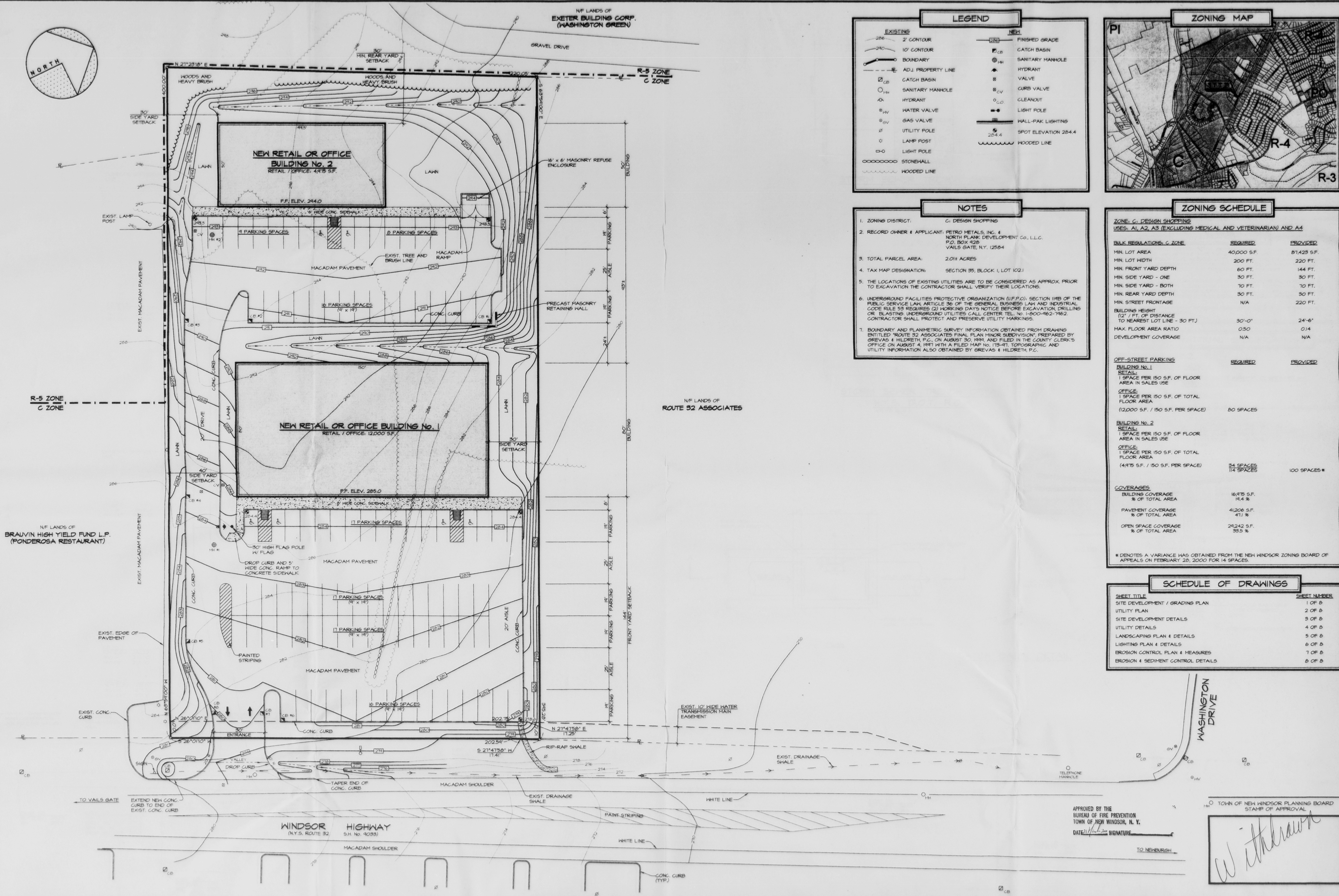
INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have Identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Town Of New Windsor Planning Board
Name of Lead Agency

_____ <small>Print or Type Name of Responsible Officer in Lead Agency</small>	_____ <small>Title of Responsible Officer</small>
_____ <small>Signature of Responsible Officer in Lead Agency</small>	 <small>Signature of Preparer (If different from responsible officer)</small>
_____ <small>Date</small>	



ZONING MAP

ZONING SCHEDULE

- | ZONE C, DESIGN: COFFING | | |
|--|-------------------------|-----------------|
| USES: A1, A2, A3 (EXCLUDING MEDICAL AND VETERINARIAN) AND A4 | | |
| <u>BULK REGULATIONS: C ZONE</u> | <u>REQUIRED</u> | <u>PROVIDED</u> |
| MIN. LOT AREA | 40,000 S.F. | 87,423 S.F. |
| MIN. LOT WIDTH | 200 FT. | 220 FT. |
| MIN. FRONT YARD DEPTH | 60 FT. | 144 FT. |
| MIN. SIDE YARD - ONE | 30 FT. | 30 FT. |
| MIN. SIDE YARD - BOTH | 70 FT. | 70 FT. |
| MIN. REAR YARD DEPTH | 30 FT. | 30 FT. |
| MIN. STREET FRONTAGE | N/A | 220 FT. |
| BUILDING HEIGHT
(12' / FT. OF DISTANCE
TO NEAREST LOT LINE - 30 FT.) | 30'-0" | 24'-6" |
| MAX. FLOOR AREA RATIO | 0.50 | 0.14 |
| DEVELOPMENT COVERAGE | N/A | N/A |
| <u>OFF-STREET PARKING</u> | <u>REQUIRED</u> | <u>PROVIDED</u> |
| <u>BUILDING NO. 1</u> | | |
| <u>RETAIL:</u> | | |
| 1 SPACE PER 150 S.F. OF FLOOR AREA IN SALES USE | | |
| <u>OFFICE:</u> | | |
| 1 SPACE PER 150 S.F. OF TOTAL FLOOR AREA | | |
| (12,000 S.F. / 150 S.F. PER SPACE) | 80 SPACES | |
| <u>BUILDING NO. 2</u> | | |
| <u>RETAIL:</u> | | |
| 1 SPACE PER 150 S.F. OF FLOOR AREA IN SALES USE | | |
| <u>OFFICE:</u> | | |
| 1 SPACE PER 150 S.F. OF TOTAL FLOOR AREA | | |
| (4,975 S.F. / 150 S.F. PER SPACE) | 34 SPACES
114 SPACES | 100 SPACES * |
| <u>COVERAGES</u> | | |
| BUILDING COVERAGE
% OF TOTAL AREA | 16,975 S.F.
14.4 % | |
| PAVEMENT COVERAGE
% OF TOTAL AREA | 41,206 S.F.
47.1 % | |
| OPEN SPACE COVERAGE
% OF TOTAL AREA | 29,242 S.F.
39.5 % | |
- * DENOTES A VARIANCE WAS OBTAINED FROM THE NEW WINDSOR ZONING BOARD OF APPEALS ON FEBRUARY 28, 2000 FOR 14 SPACES.

<u>SHEET TITLE</u>	<u>SHEET NUMBER</u>
SITE DEVELOPMENT / GRADING PLAN	1 OF 8
UTILITY PLAN	2 OF 8
SITE DEVELOPMENT DETAILS	3 OF 8
UTILITY DETAILS	4 OF 8
LANDSCAPING PLAN & DETAILS	5 OF 8
LIGHTING PLAN & DETAILS	6 OF 8
EROSION CONTROL PLAN & MEASURES	7 OF 8
EROSION & SEDIMENT CONTROL DETAILS	8 OF 8

0 TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

Withdrawn

Consulting Engineers

744 Broadway Newburgh N.Y. 12550

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COPYRIGHT 2000 SHAW ENGINEERING

ISSUE	REVISION	DATE
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Drawn By J.R.J.

Checked By: G.J.S.

Scale: 1"=20'

3-14-2000

Drawing: SITE DEVELOPMENT / GRADING PLAN

Project:	NEW OFFICE / RETAIL BUILDINGS
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FOR
PETRO METALS, INC. & NORTH
PLANK DEVELOPMENT Co., L. L. C.
WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

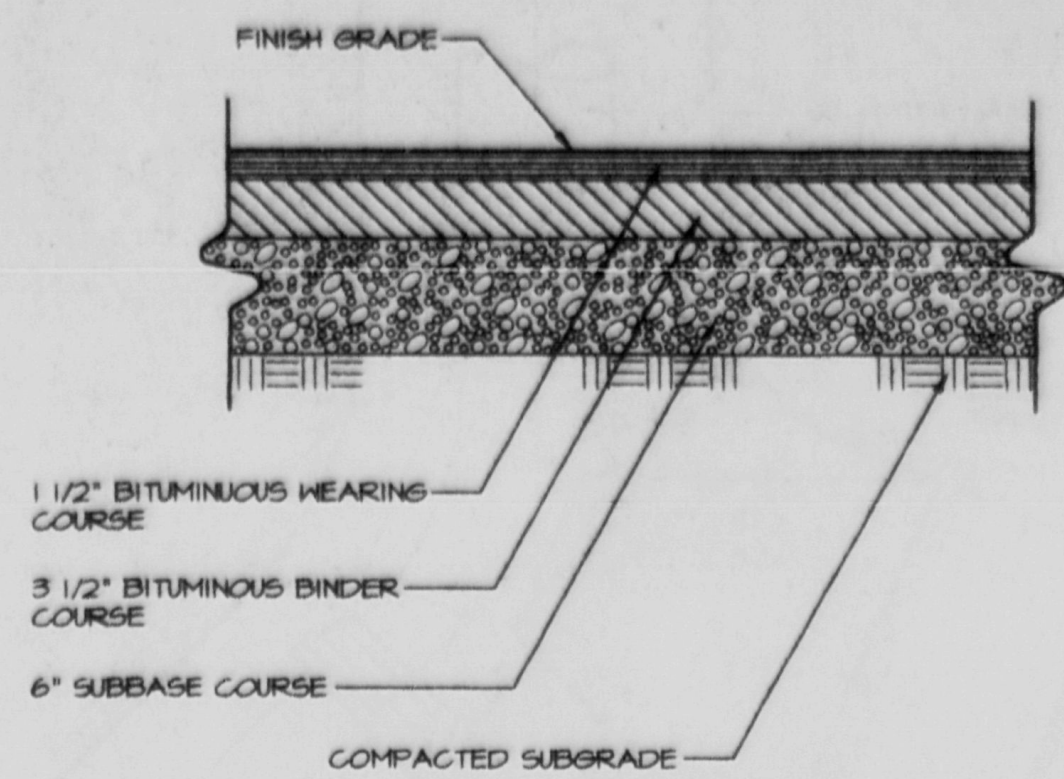
100

2

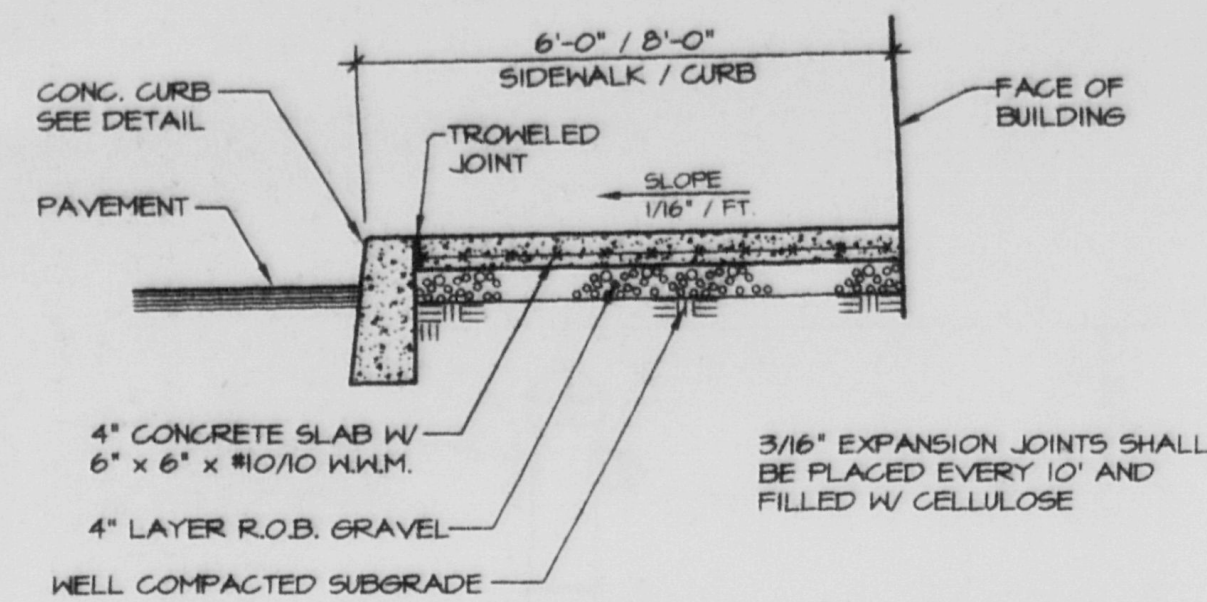
Project No. _____

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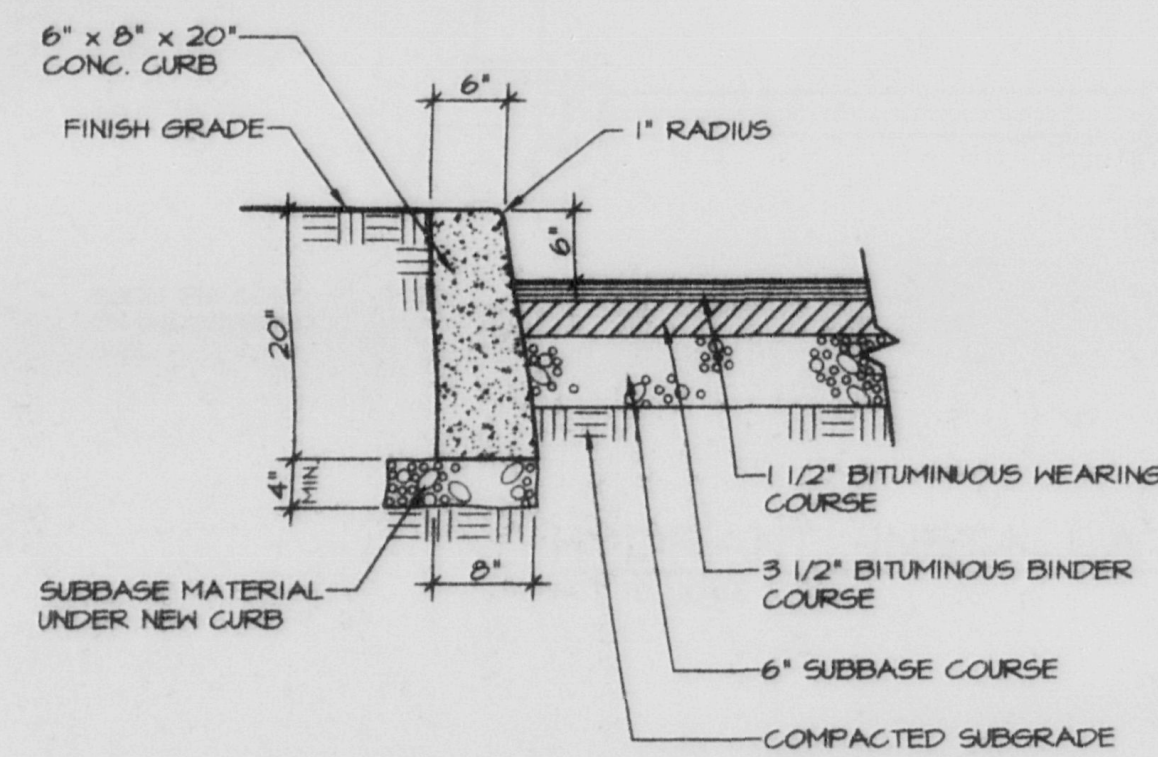




ON - SITE ASPHALT PAVEMENT
NOT TO SCALE

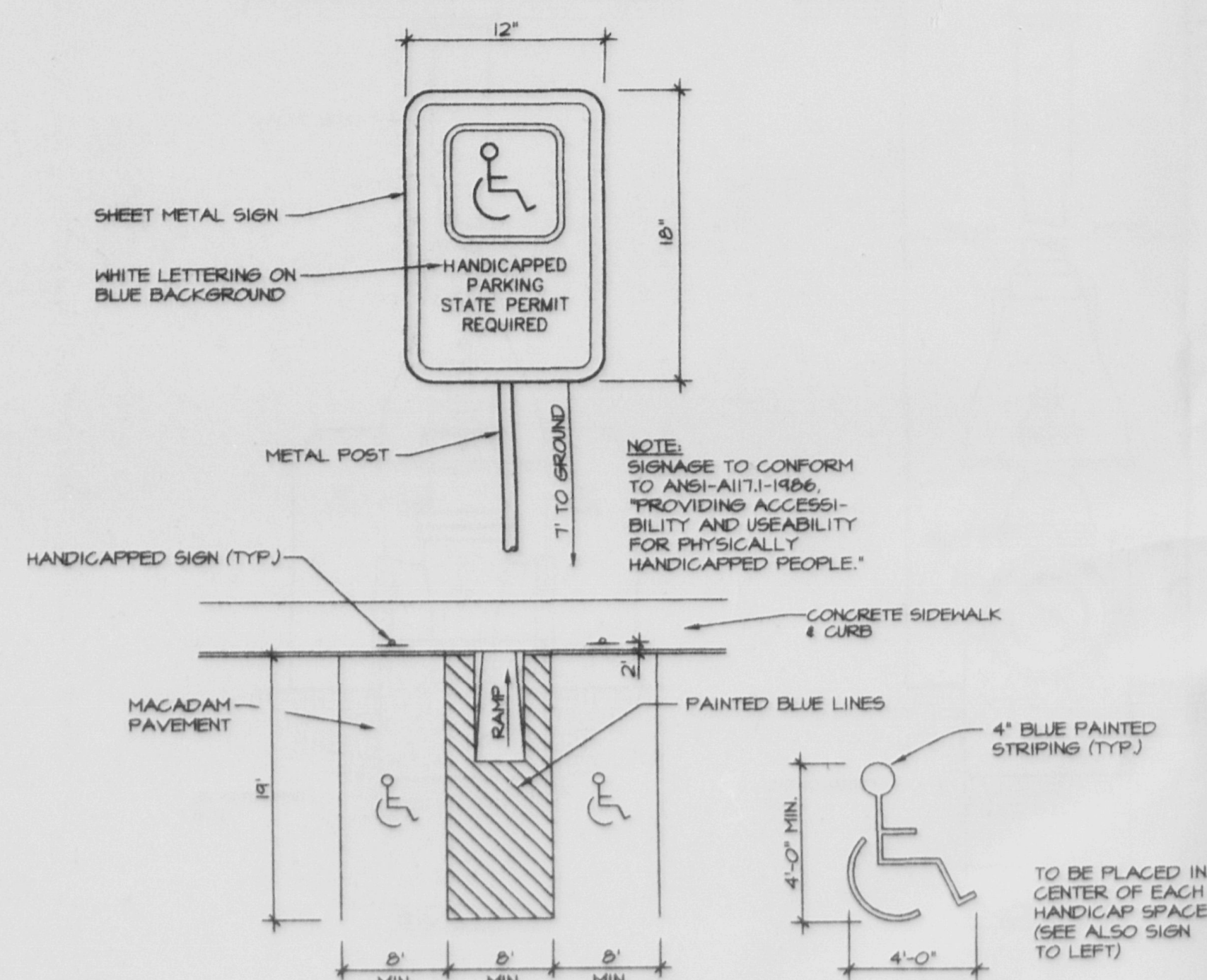


ON - SITE SIDEWALK DETAIL
NOT TO SCALE

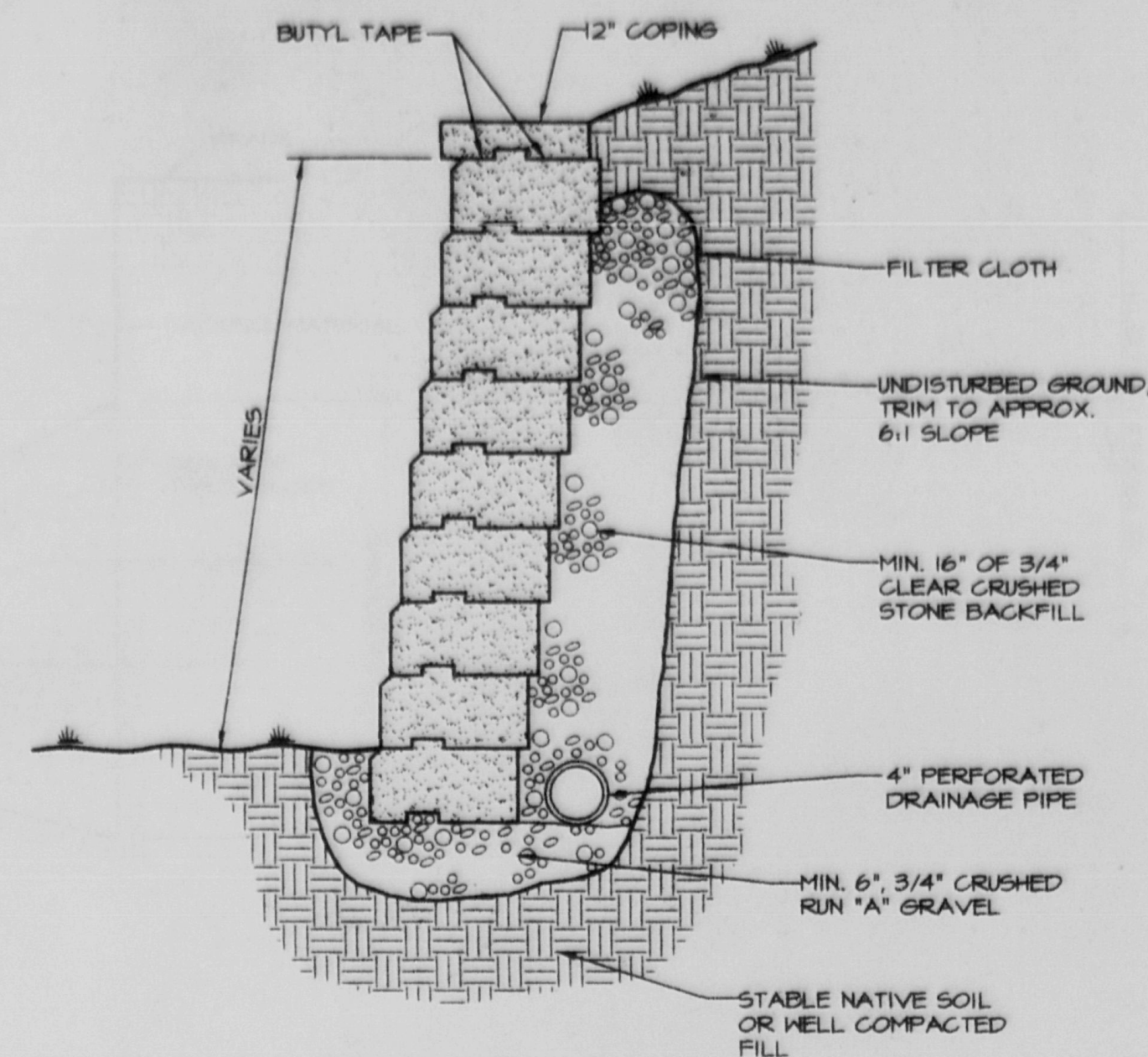


NOTE:
1. 1/2" PRE-MOLDED EXPANSION JOINTS,
10' O.C.

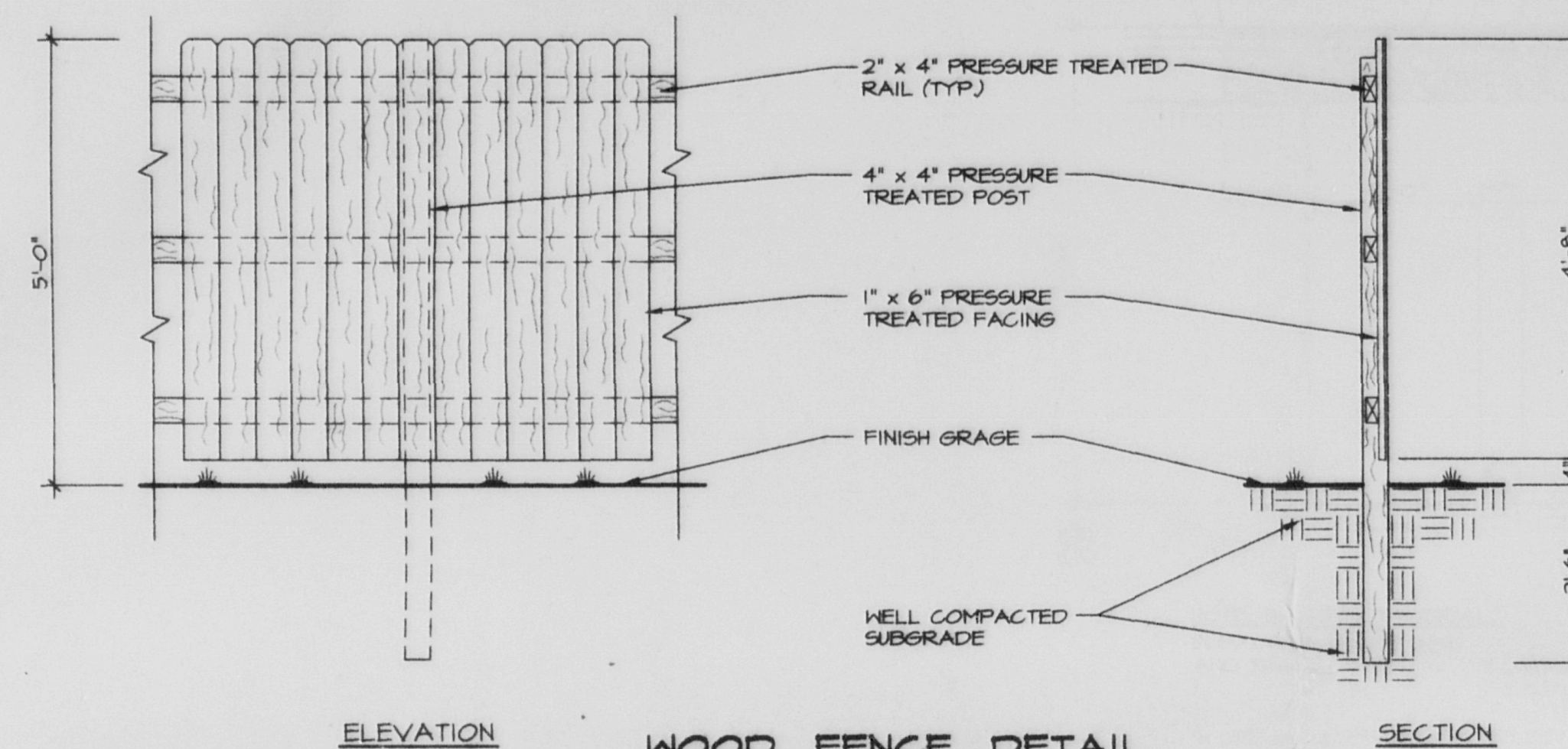
ON - SITE CURB DETAIL
NOT TO SCALE



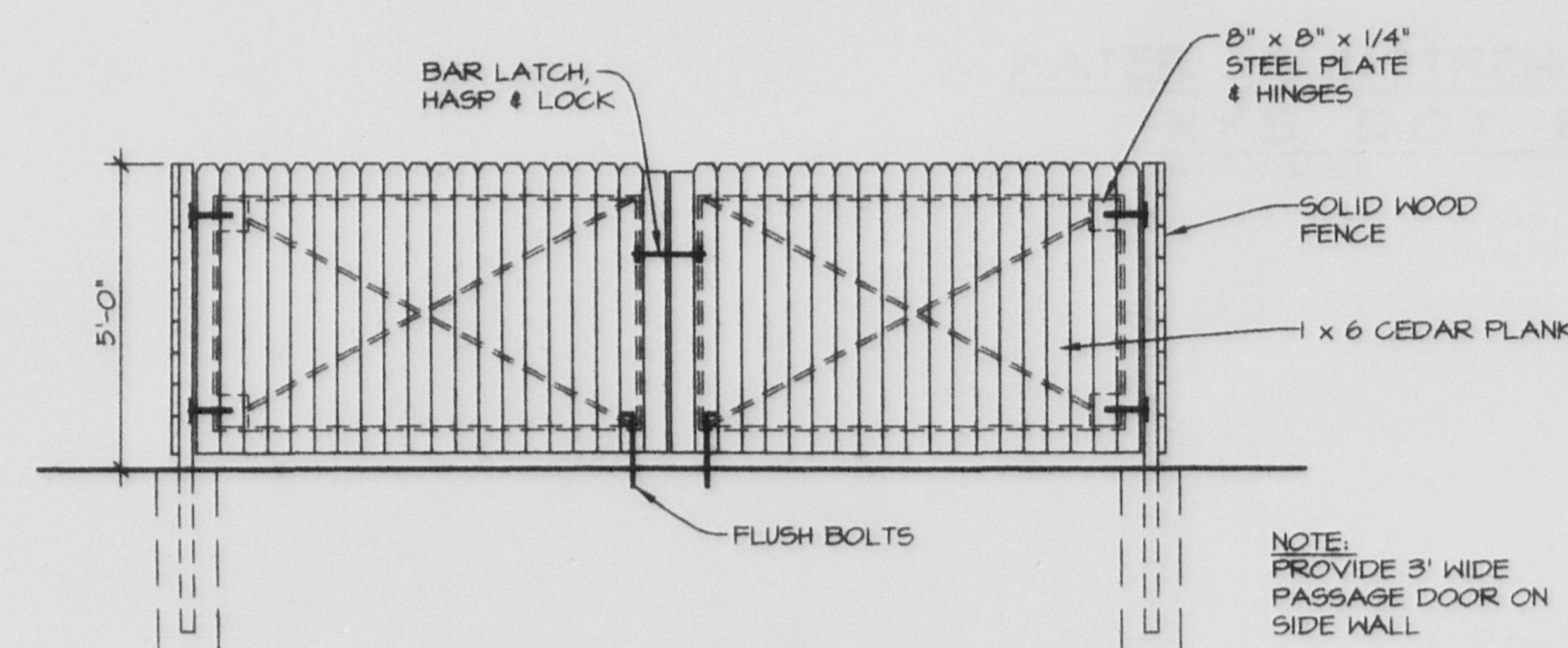
HANDICAPPED SIGN & SPACE DETAIL
NOT TO SCALE



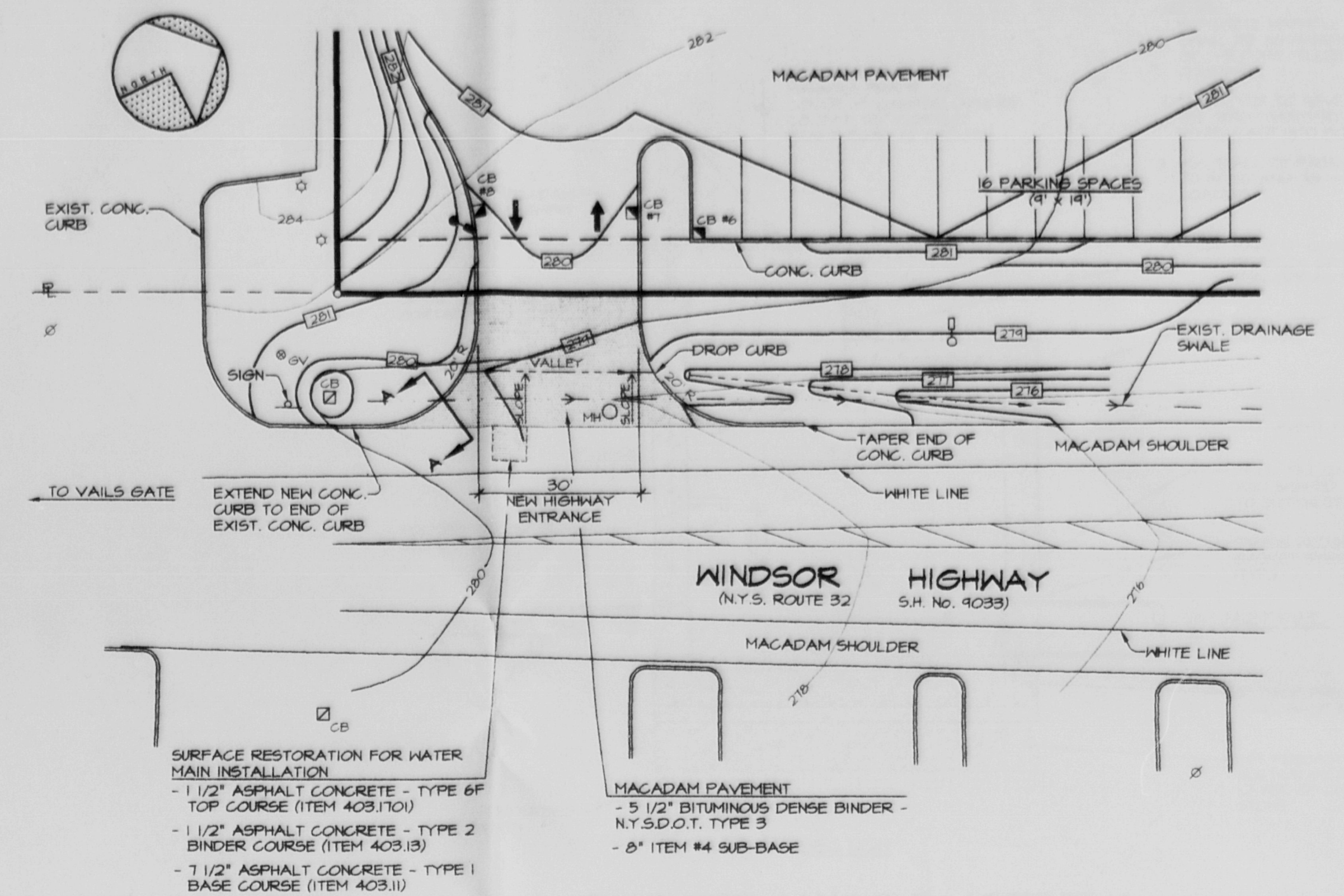
PRECAST MASONRY RETAINING WALL
NOT TO SCALE



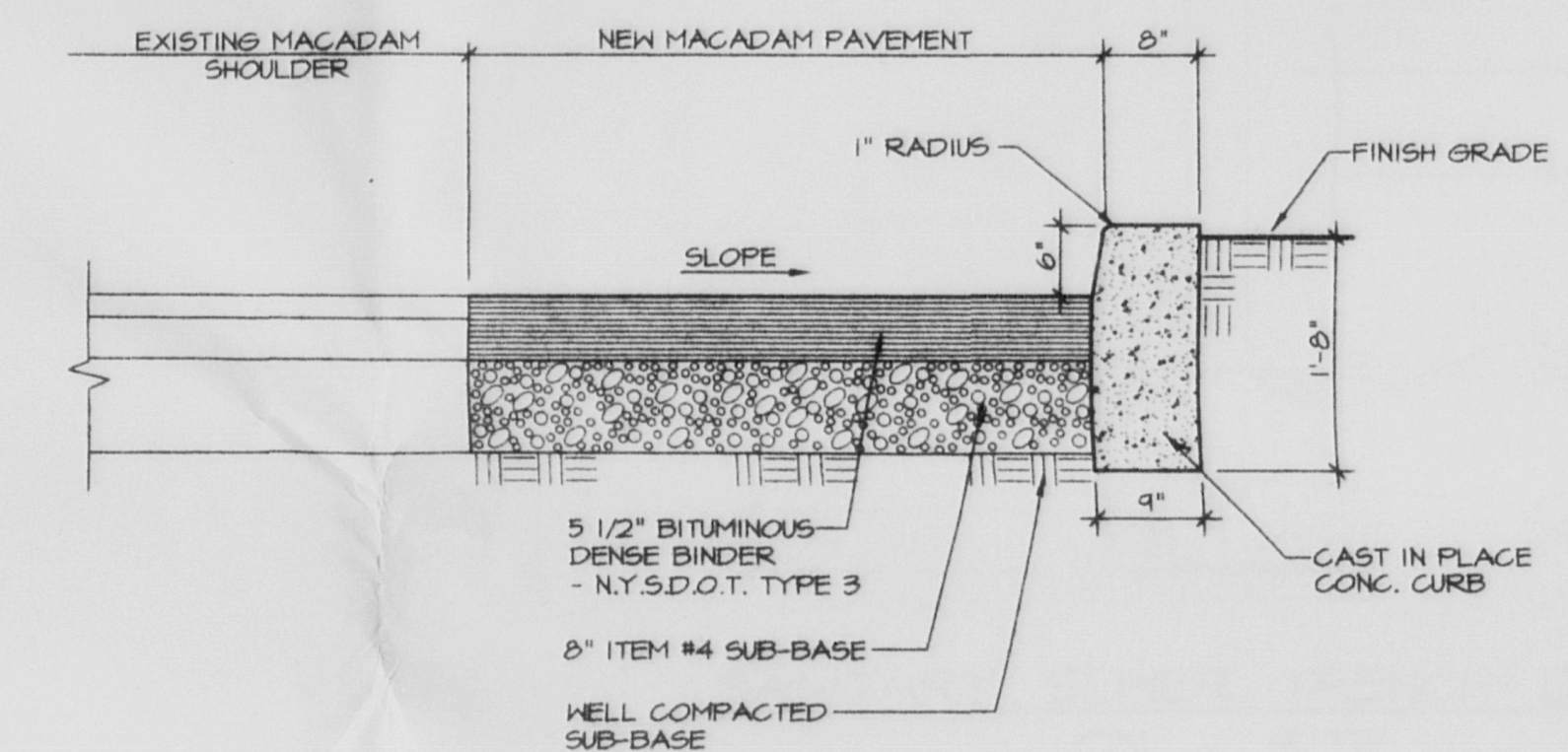
WOOD FENCE DETAIL
NOT TO SCALE



REFUSE ENCLOSURE
NOT TO SCALE



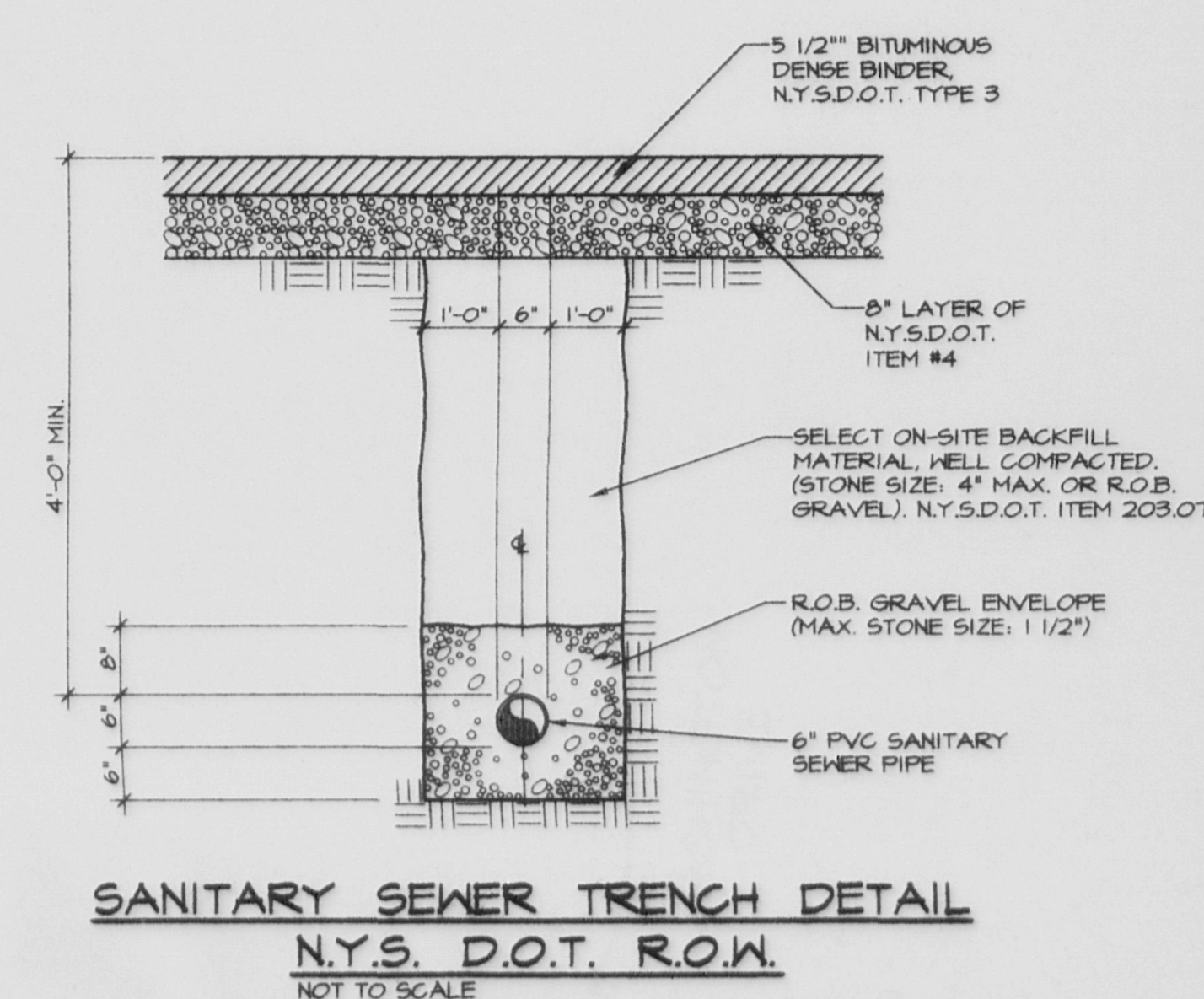
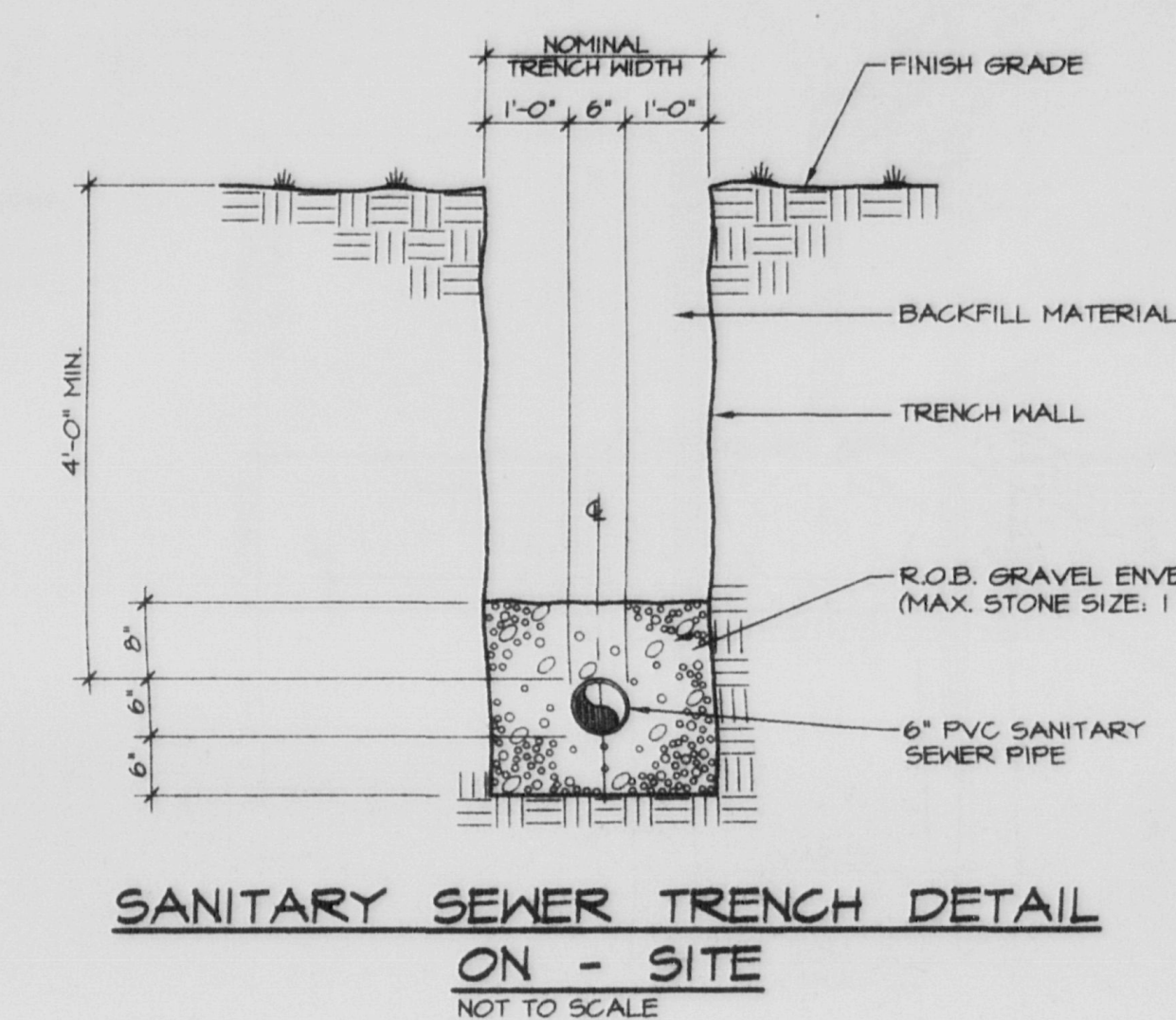
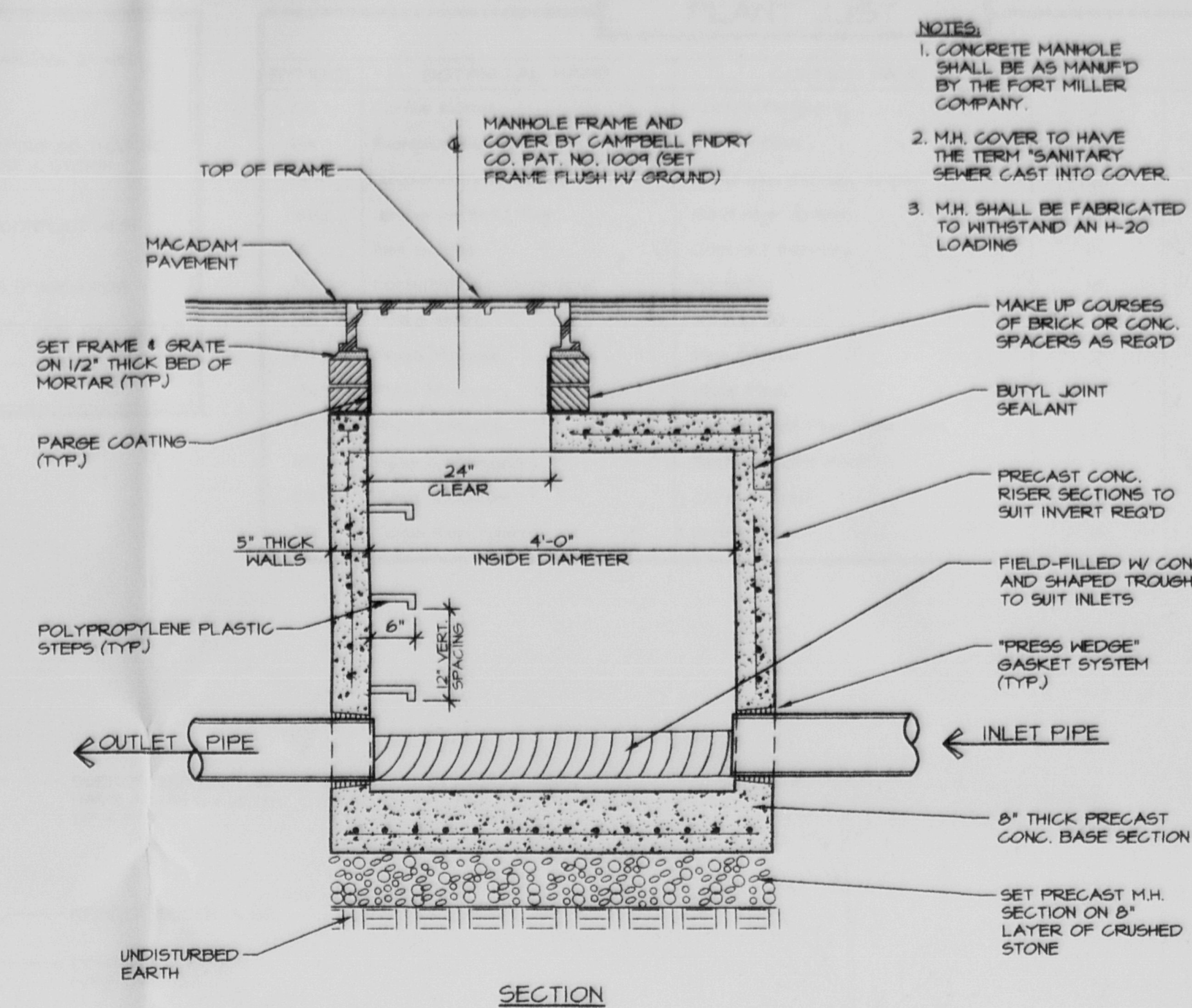
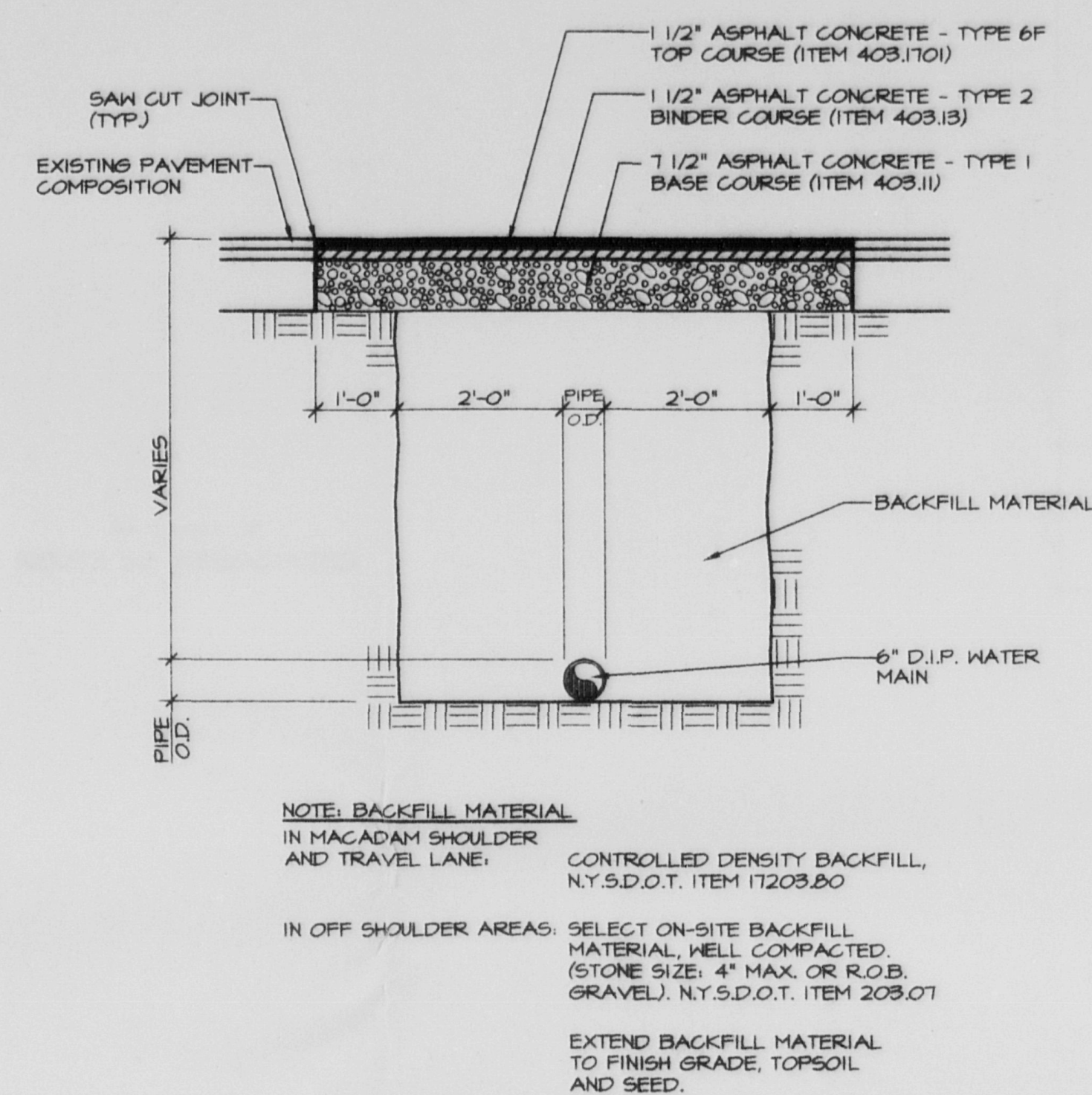
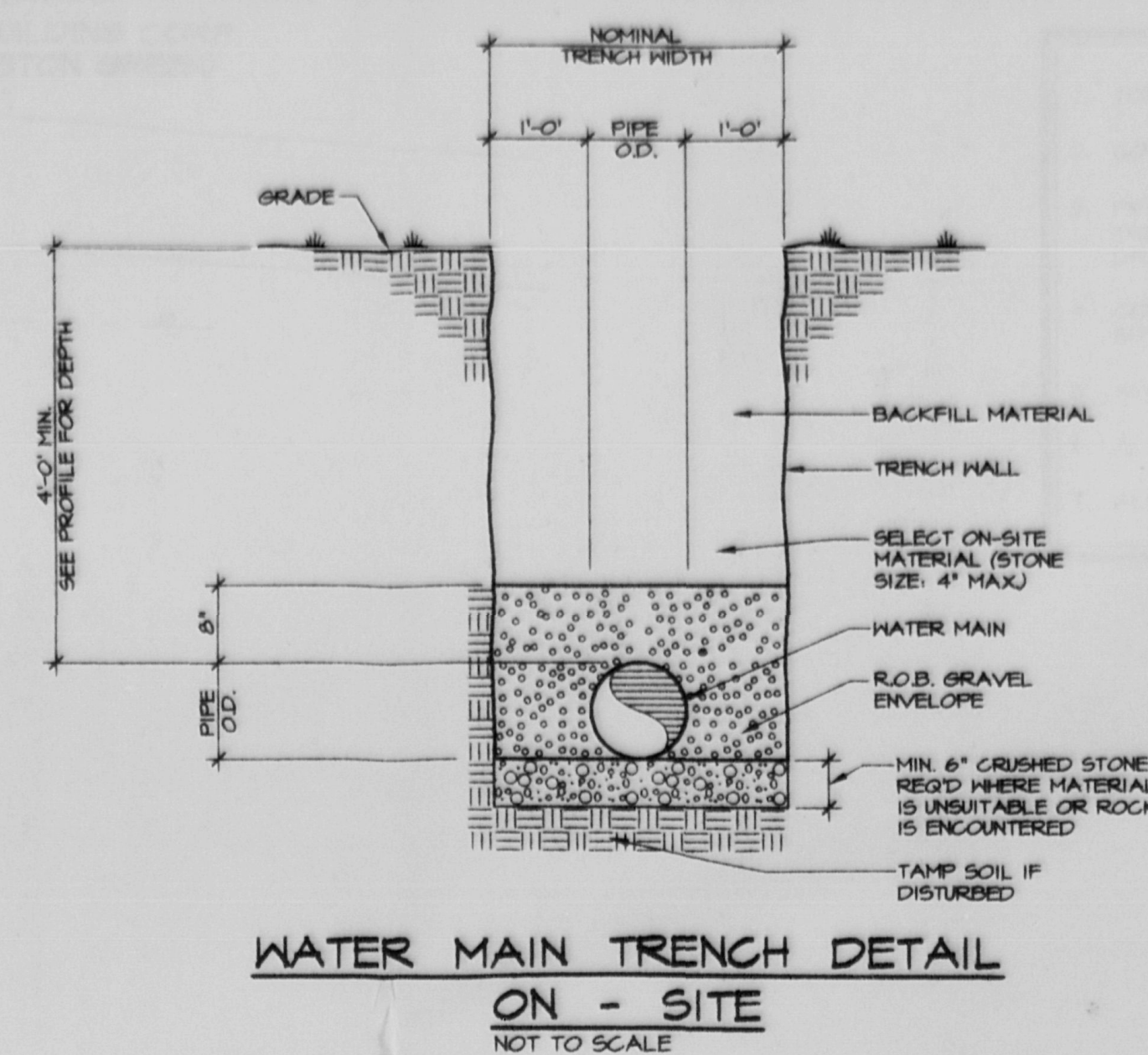
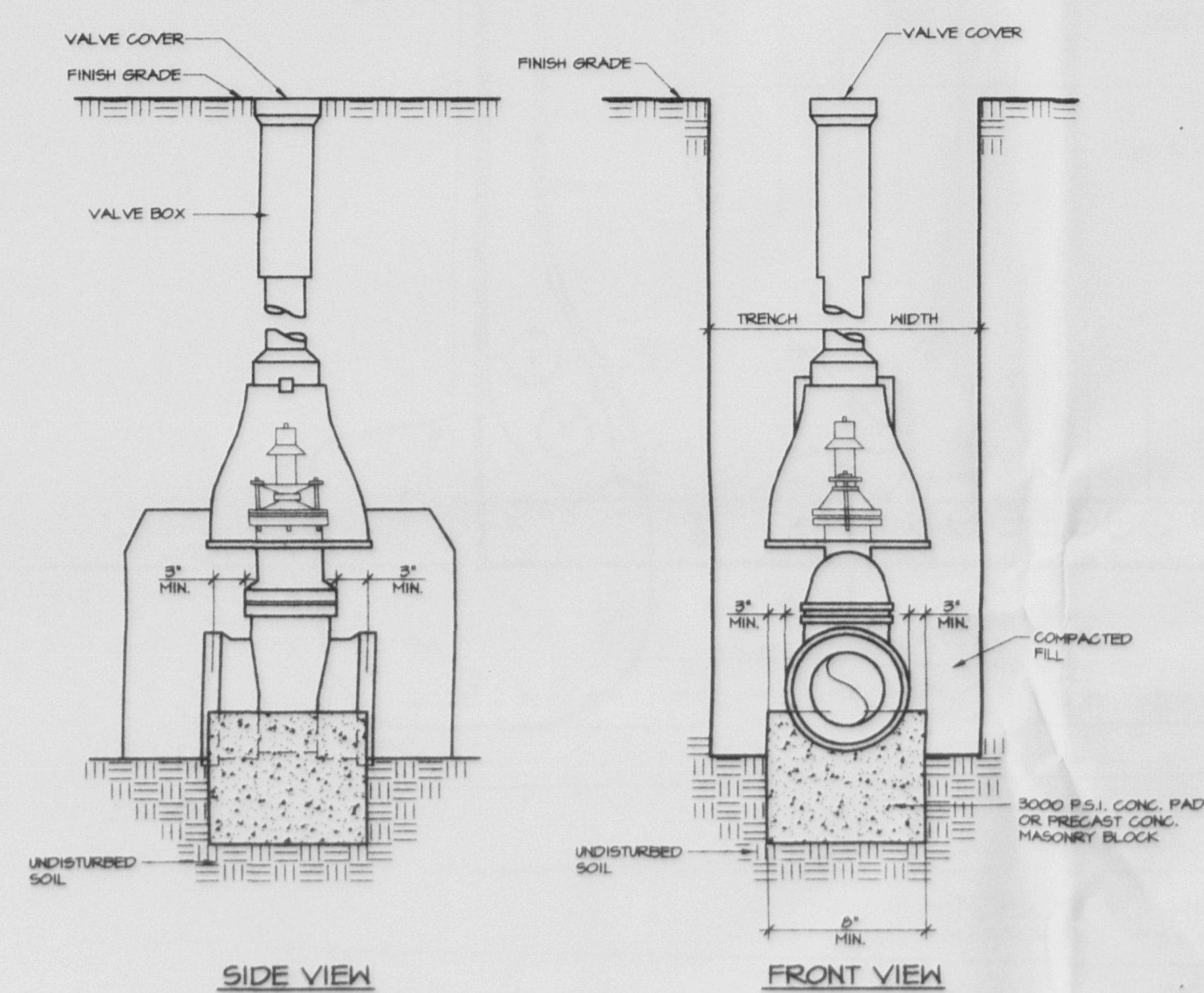
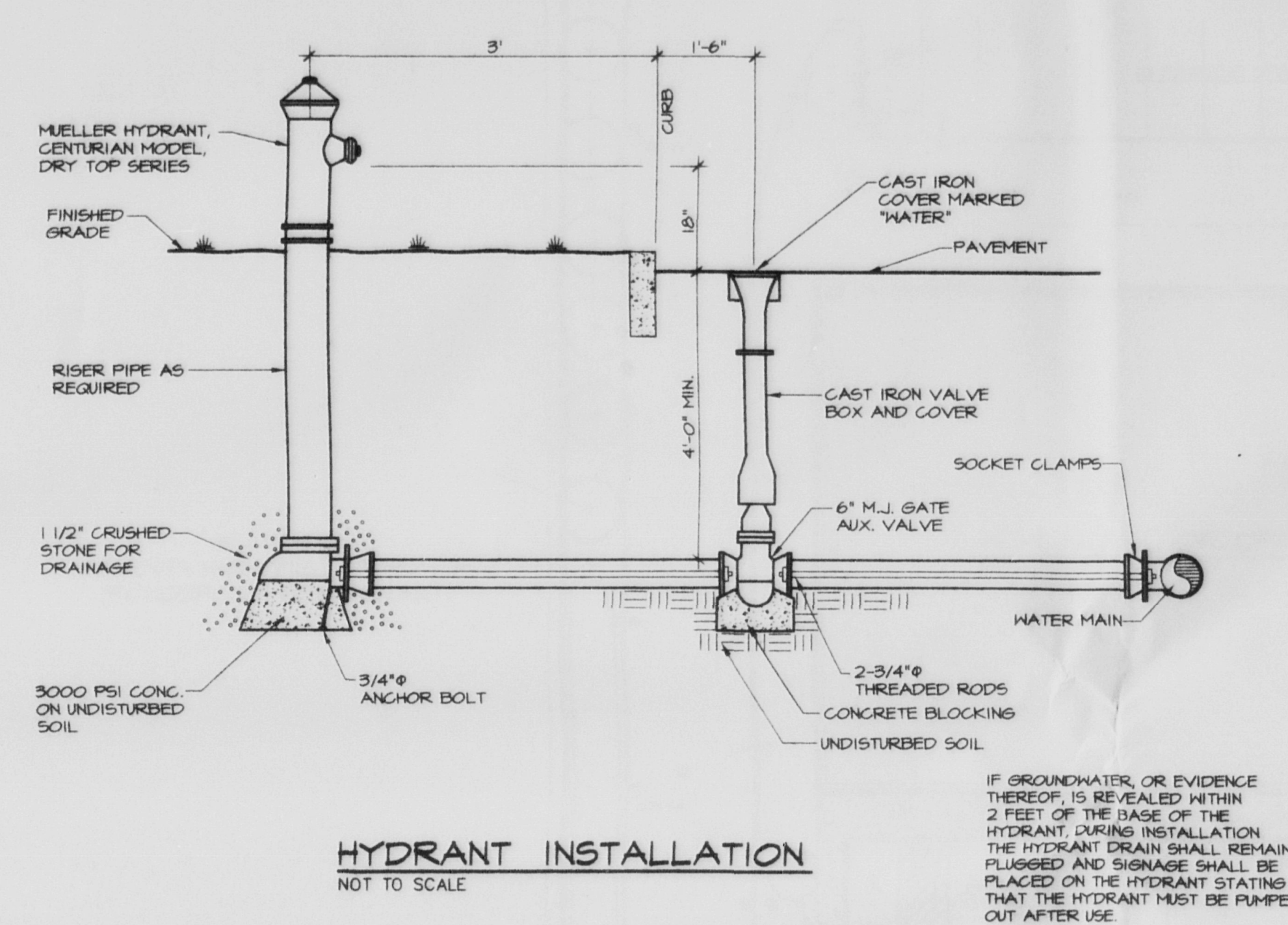
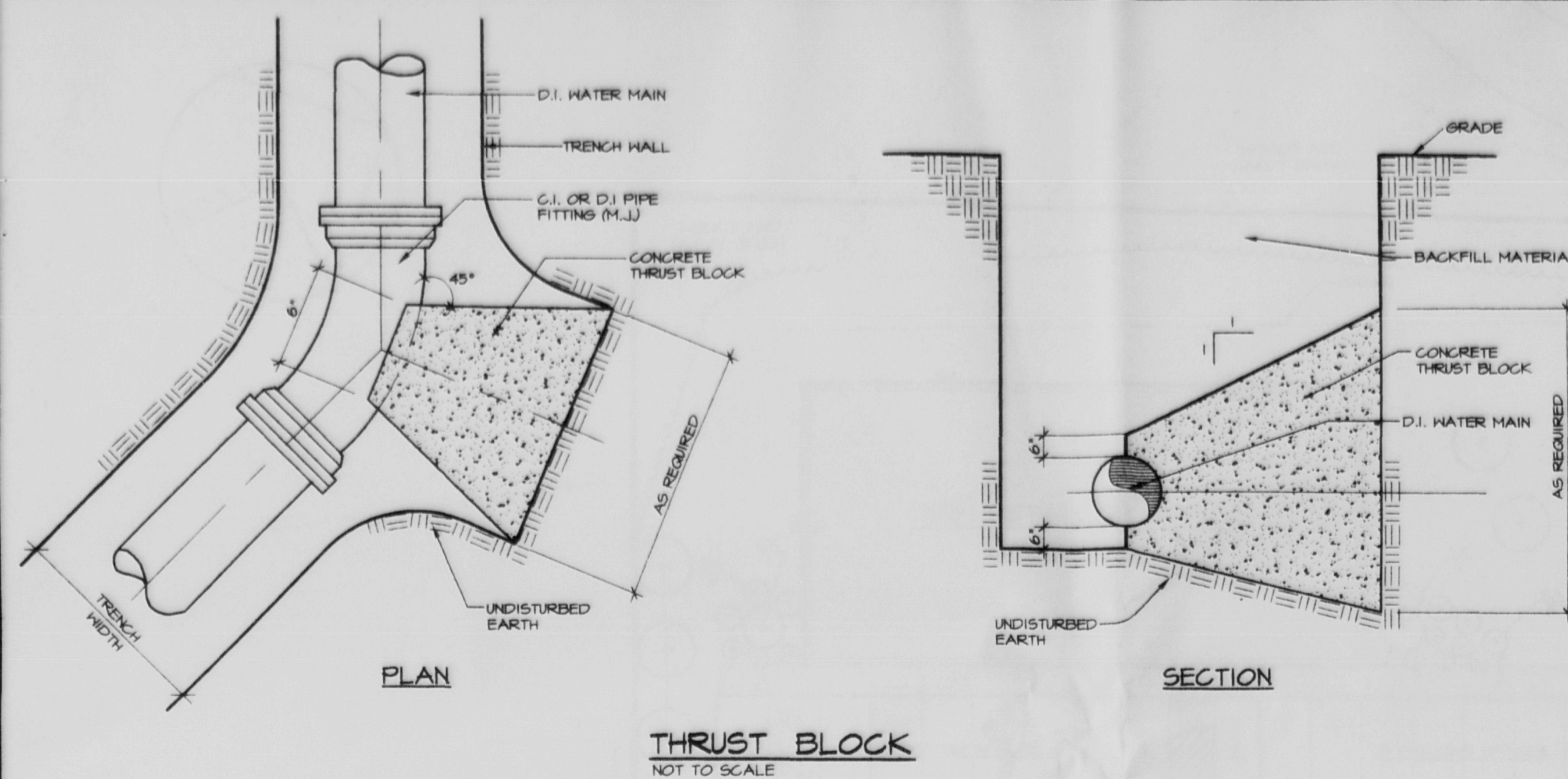
HIGHWAY ENTRANCE PLAN
SCALE: 1"=20'



SECTION A - A
CURB DETAIL - N.Y.S.D.O.T. R.O.W.
NOT TO SCALE

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL





NOTES:

1. CONCRETE MANHOLE SHALL BE AS MANUF'D BY THE FORT MILLER COMPANY.
2. M.H. COVER TO HAVE THE TERM "SANITARY SEWER CAST INTO COVER.
3. M.H. SHALL BE FABRICATED

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

N/F LANDS OF
EXETER BUILDING CORP.
(WASHINGTON GREEN)

GRAVEL DRIVE

HOODS AND
HEAVY BRUSH

HOODS AND
HEAVY BRUSH

NEW RETAIL OR OFFICE
BUILDING No. 2

9 PARKING SPACES

8 PARKING SPACES

LAWN

NEW RETAIL OR OFFICE BUILDING No. 1

17 PARKING SPACES

17 PARKING SPACES

16 PARKING SPACES

N/F LANDS OF
BRAUVIN HIGH YIELD FUND L.P.
(PONDEROSA RESTAURANT)

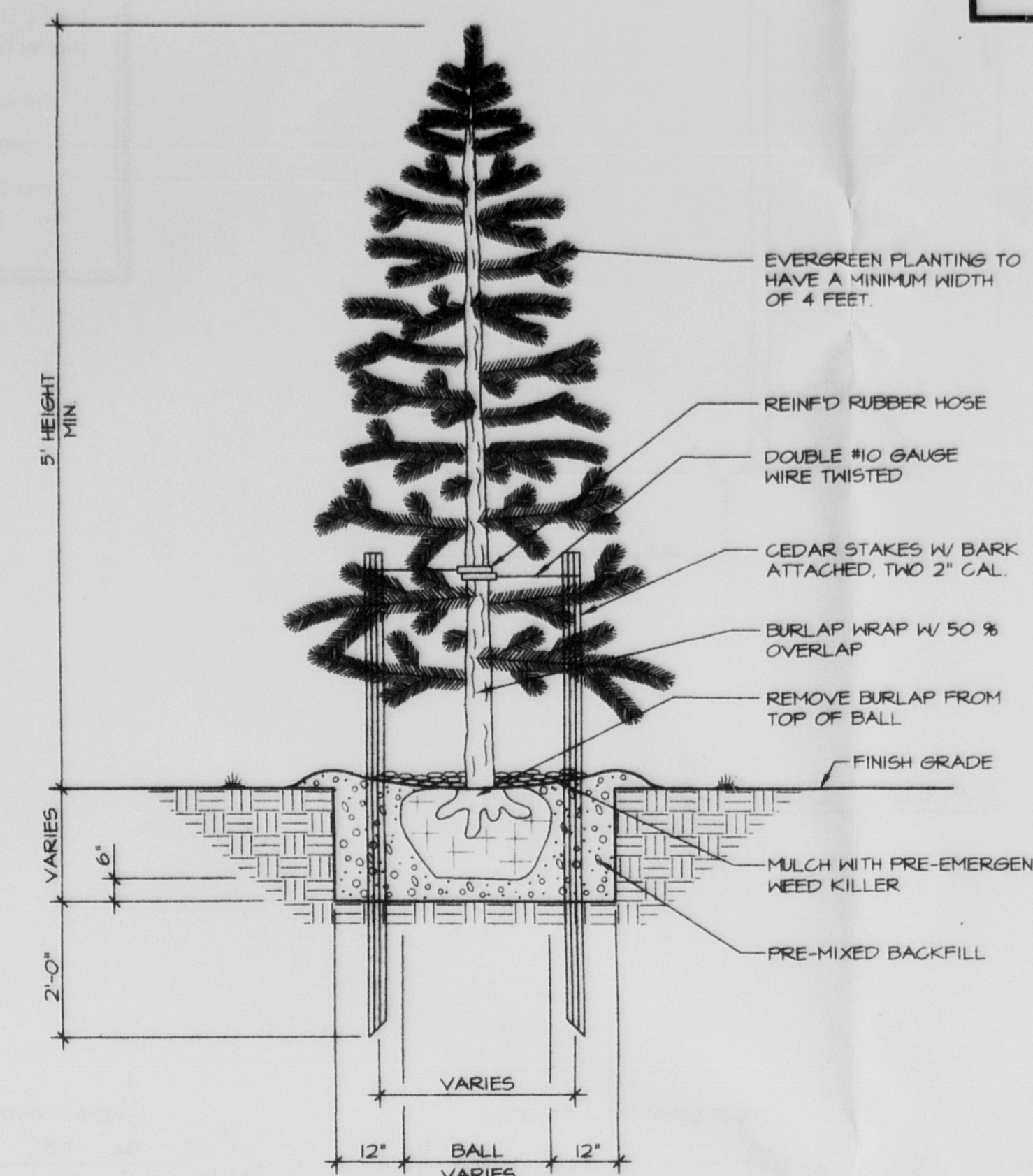
N/F LANDS OF
ROUTE 32 ASSOCIATES

PLANTING NOTES

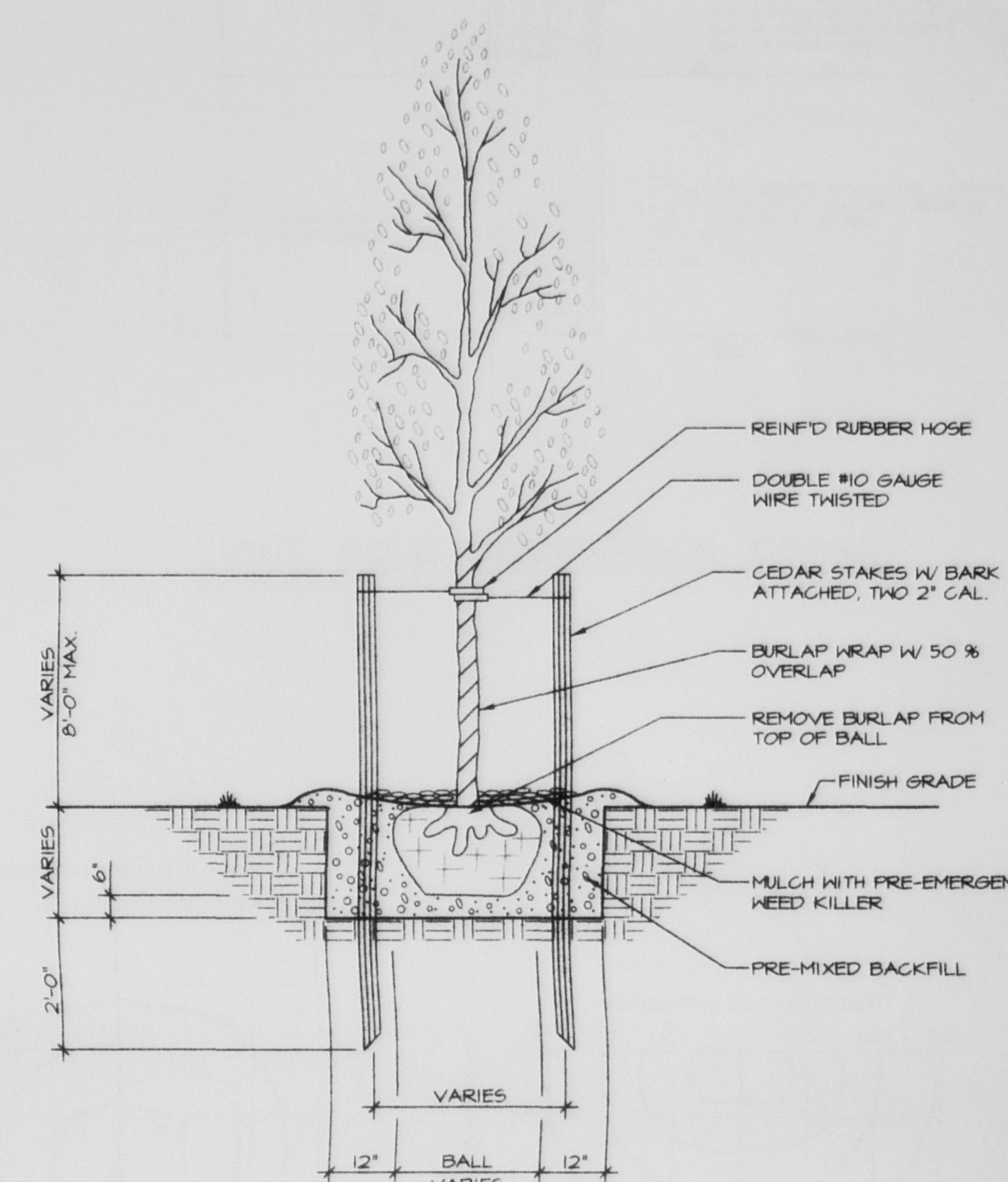
1. TOP SOIL DEPTHS FOR BEDS: 4"; FOR LAWN AND GRASS COVER AREAS: 2" MIN.
2. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO WORK.
3. PRIOR TO PLANTING, CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO THAT NO TREE IS WITHIN 10 FEET OF A WATER LINE, SANITARY SEWER LINE, OR A STORM DRAINAGE LINE.
4. CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO AS TO NOT CONFLICT WITH SITE LIGHTING.
5. ALL PLANTS MUST MEET AMERICAN ASSOCIATION OF NURSERIES STANDARDS.
6. ALL SEEDING AREAS SHALL BE COVERED WITH STRAW AND WATERED FOR TWO WEEKS.
7. ALL PLANT BEDS SHALL BE SLIGHTLY HOUSED.

PLANT LIST

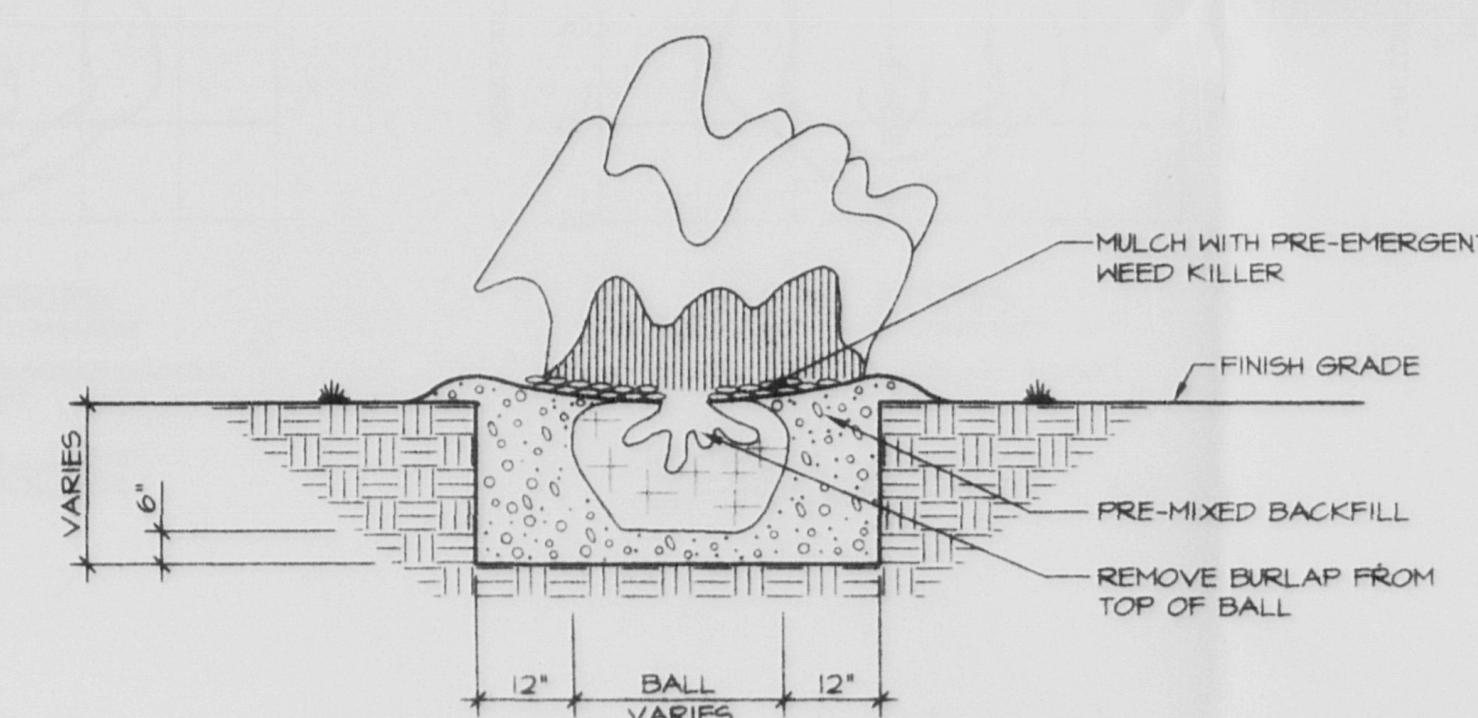
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
CK	Cornus Kousa	Korean Dogwood	2	6"-T
EA	Euonymus Alatus	Burning Bush	8	24"-30"
JPN	Juniperus Procumbens	Japanese Garden Juniper	126	1 gal.
GSJ	Juniperus 'Gold Star'	Gold Star Juniper	14	2 gal.
IG	Ilex Glabra	Compact Inkberry	14	18"-24"
FL	Foraythia 'Lynwood Gold'	Foraythia	18	5'-6"
NS	Picea Abies	Norway Spruce	4	6"-T
PP	Picea Pungens	Blue Spruce	2	6"-T
PS	Pinus Strobus	White Pine	14	6"-T
PC	Prunus Cistena	Purple Leaf Plum Tree Form	2	2" cal.
RP	Pyrus Calleryana	Redspire Orn Pear	6	2"-2 1/2" cal.
CR	Rosa Nostrum	Carpet Rose	40	1.5 gal.
TR	Taxus Repandens	English Yew	16	18"-24"



TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN & DECIDUOUS SHRUBS

SHRUB PLANTING DETAIL
NOT TO SCALE

WASHINGTON
DRIVE

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

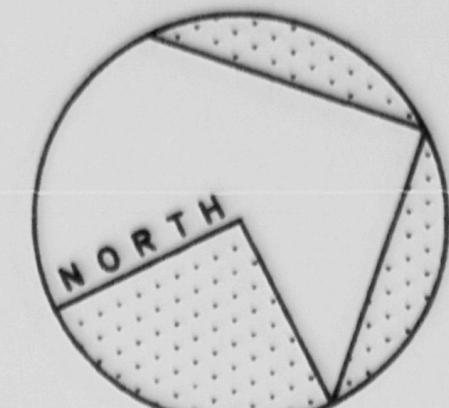
WINDSOR HIGHWAY
(N.Y.S. ROUTE 32
S.H. NO. 4093)

MACADAM SHOULDER

PAINT STRIPES

WHITE LINE

TO NEWBURGH



N/E LANDS OF
EXETER BUILDING CORP.
(WASHINGTON GREEN)

WOODS AND
HEAVY BRUSH

GRAVEL DRIVE

SHALE

NEW RETAIL OR OFFICE
BUILDING No. 2

16' x 6' MASONRY
REFUSE ENCLOSURE

MACADAM
RAMP

PRECAST MASONRY
RETAINING WALL

LAWN

SHALE

NEW RETAIL OR OFFICE BUILDING No. 1

N/E LANDS OF
ROUTE 32 ASSOCIATES

N/E LANDS OF
BRAUVIN HIGH YIELD FUND L.P.
(PONDEROSA RESTAURANT)

8' WIDE CONC. SIDEWALK

30' HIGH FLAG
POLE W/ FLAG

EXIST. 10' WIDE WATER
TRANSMISSION MAIN
EASEMENT

GRASS

EXIST. DRAINAGE
SHALE

MACADAM SHOULDER

WINDSOR HIGHWAY
(N.Y.S. ROUTE 32
S.H. No. 4033)

MACADAM SHOULDER

PAINT STRIPING

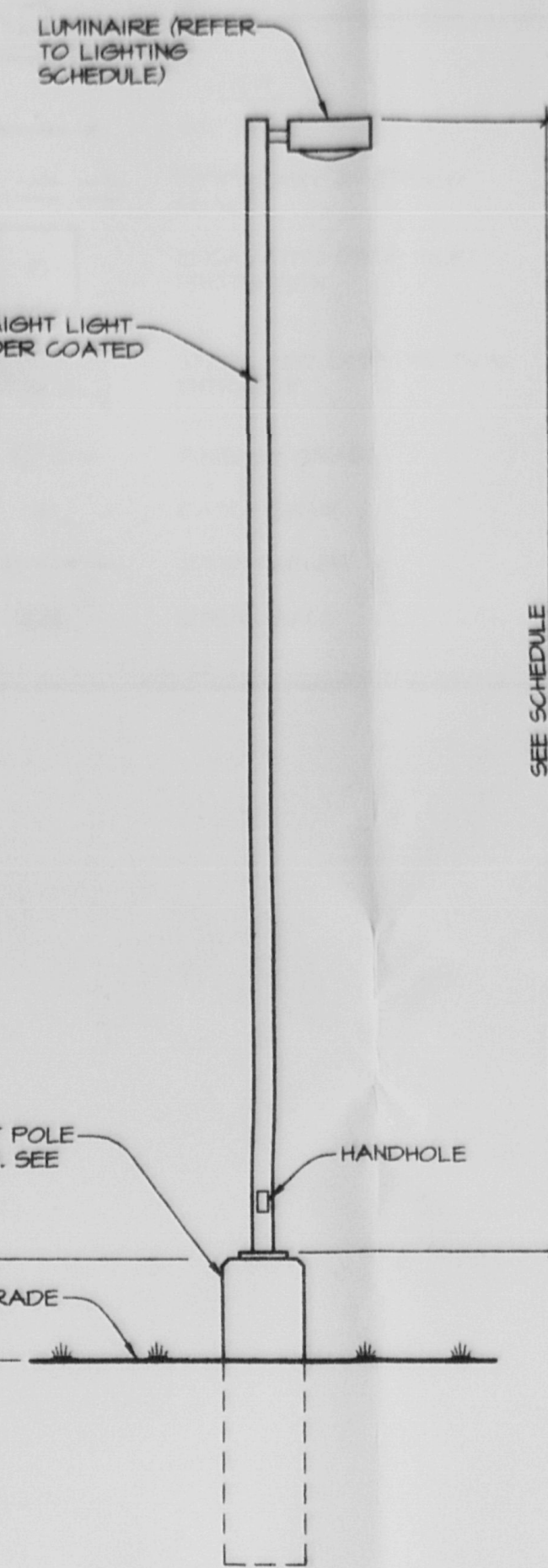
WHITE LINE

WASHINGTON
DRIVE

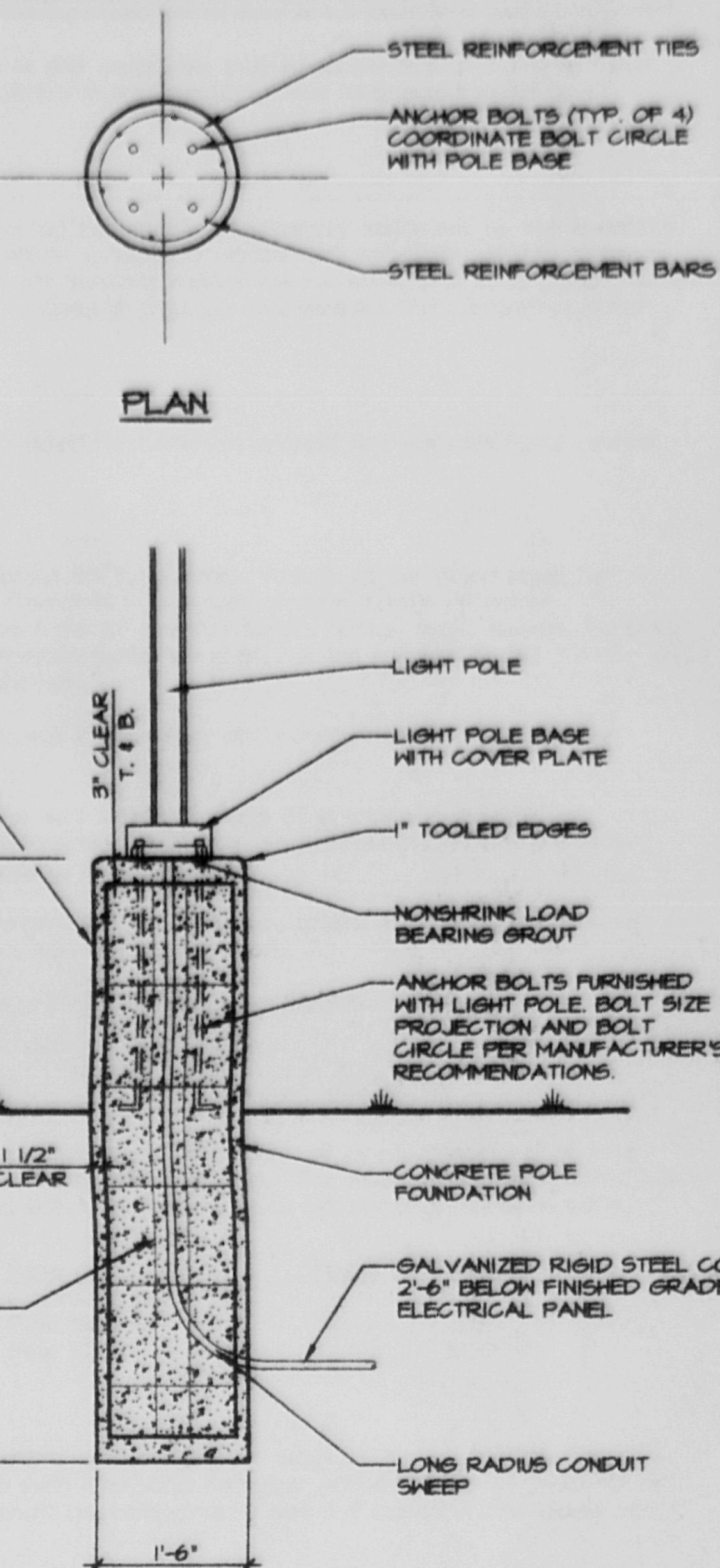
TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

LIGHTING SCHEDULE

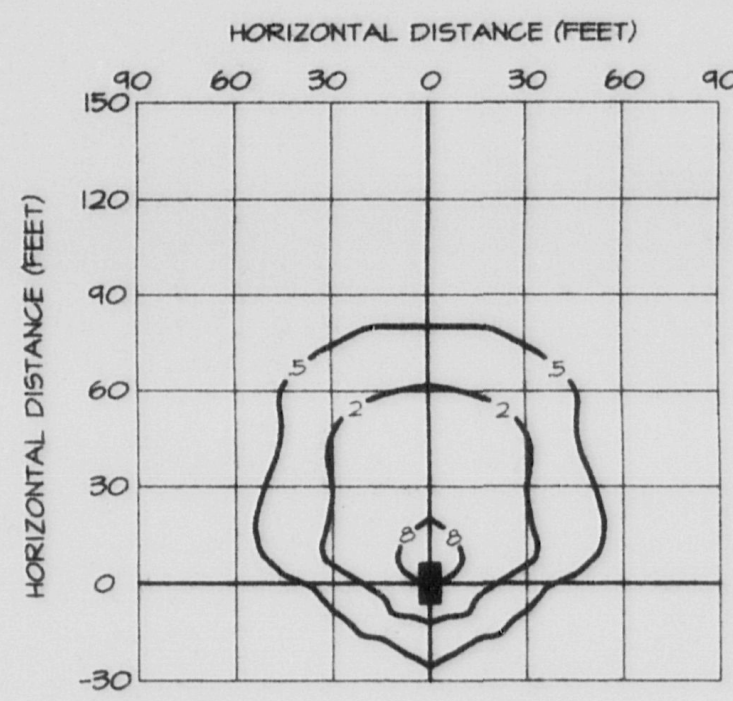
- L1: (2) 400 WATT HIGH PRESSURE SODIUM, EXCELINE: SAR SERIES, 30' MOUNTING HEIGHT.
- L2: (3) 400 WATT HIGH PRESSURE SODIUM, EXCELINE: SAR SERIES, 30' MOUNTING HEIGHT.
- L3: 250 WATT HIGH PRESSURE SODIUM, EXCELINE: SAR SERIES, 20' MOUNTING HEIGHT.
- L4: 150 WATT HIGH PRESSURE SODIUM, EXCELINE: SBR SERIES, 12' MOUNTING HEIGHT.
- L5: 400 WATT HIGH PRESSURE SODIUM, EXCELINE: SAR SERIES, 30' MOUNTING HEIGHT.
- L6: 10 WATT HIGH PRESSURE SODIUM, ULS ULTRALYTER, 10' MOUNTING HEIGHT.



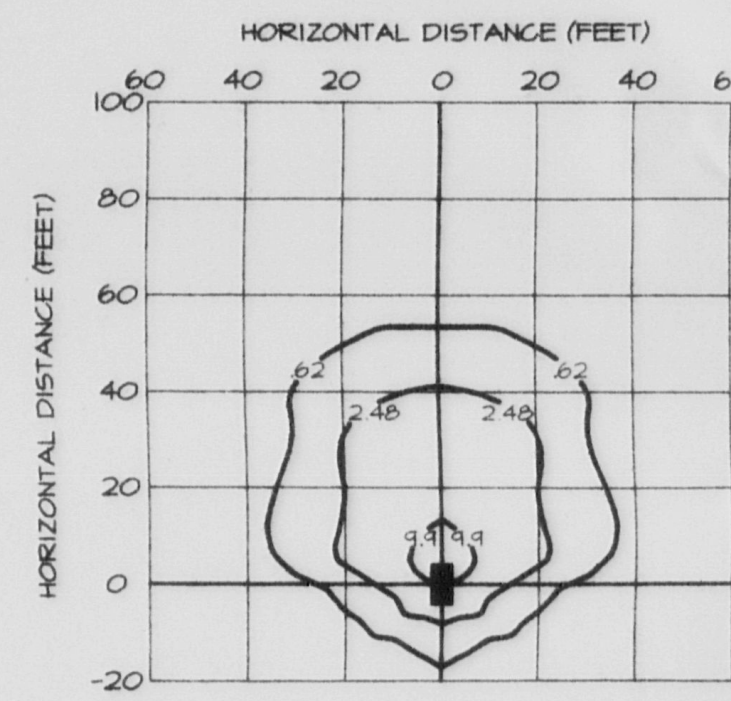
LIGHT POLE DETAIL
NOT TO SCALE



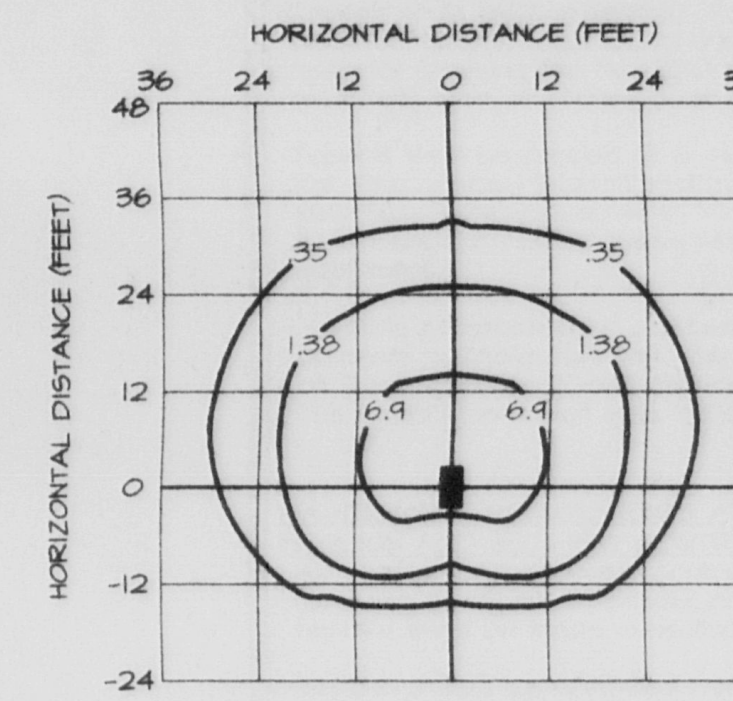
LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



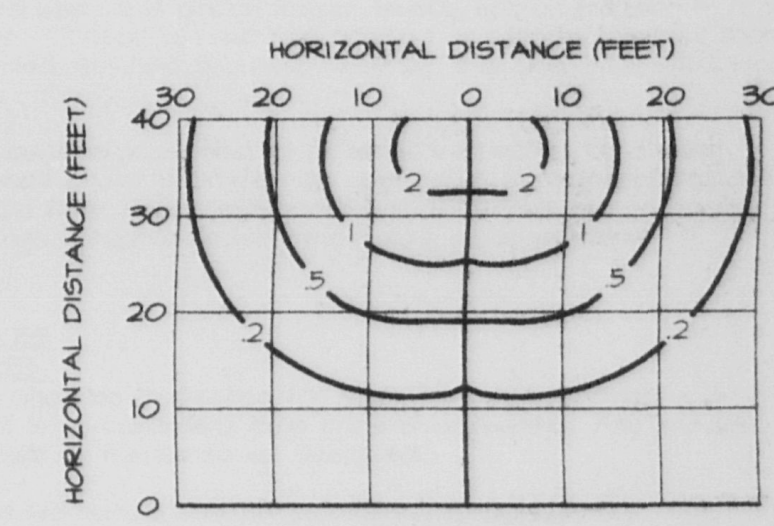
SAR SERIES
AREA / ROADWAY LUMINAIRE
400 WATT HIGH PRESSURE SODIUM
30' MOUNTING HEIGHT
ISOLUX CHART
NOT TO SCALE




SAR SERIES
AREA / ROADWAY LUMINAIRE
250 WATT HIGH PRESSURE SODIUM
20' MOUNTING HEIGHT
ISOLUX CHART
NOT TO SCALE



SBR SERIES
MINI PATHWAY / AREA LUMINAIRE
150 WATT HIGH PRESSURE SODIUM
12' MOUNTING HEIGHT
ISOLUX CHART
NOT TO SCALE



ULS ULTRALYTER
WALL MOUNT
10 WATT HIGH PRESSURE SODIUM
10' MOUNTING HEIGHT
ISOLUX CHART
NOT TO SCALE



Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh N.Y. 12550

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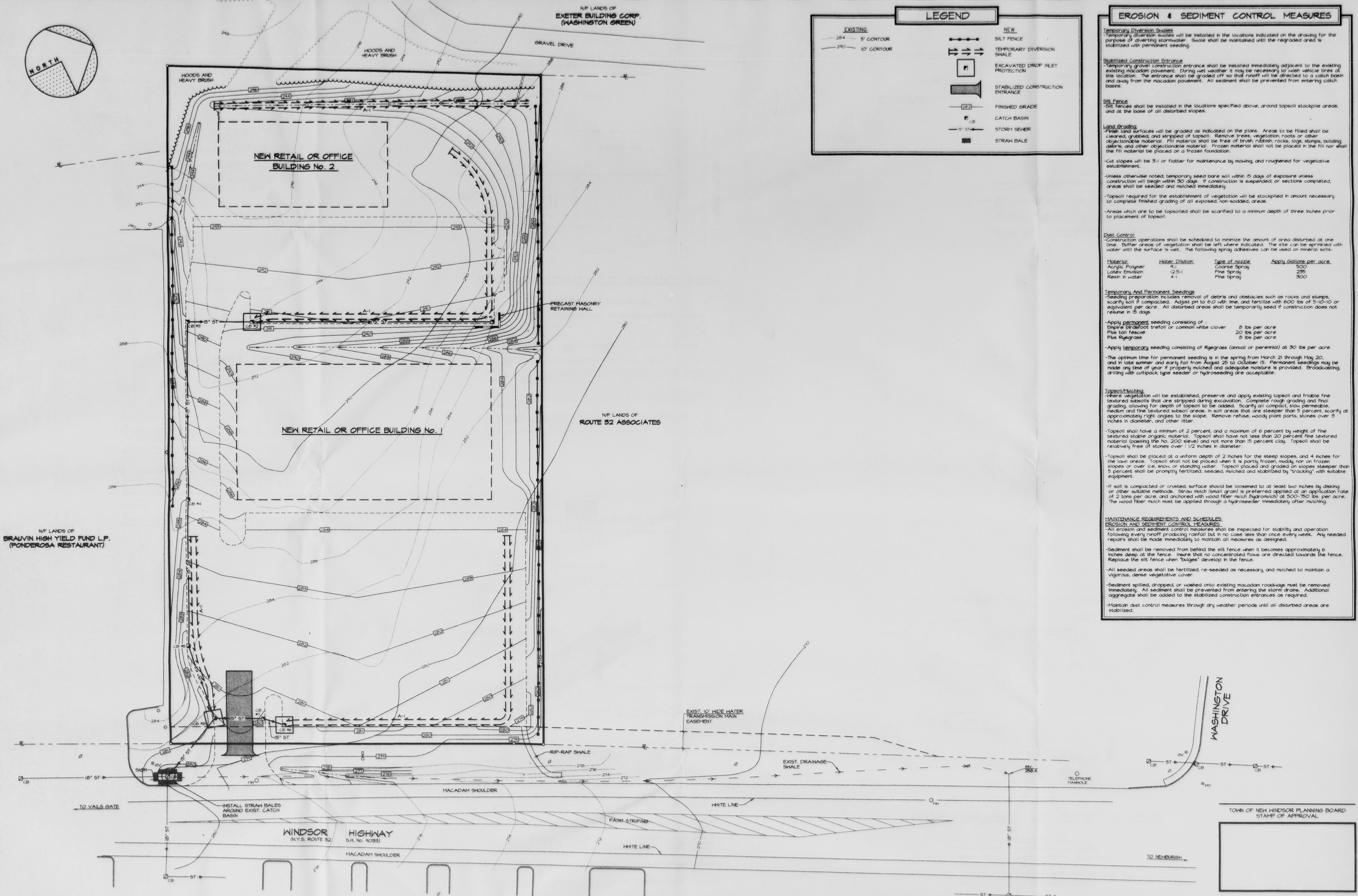
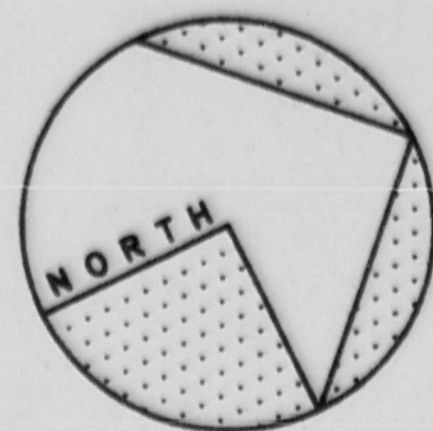
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ISSUE	REVISION	DATE

Drawn By: J.R.J.
Checked By: G.J.S.
Scale: 1"=20'
Date: 3-14-2000

Drawing:
LIGHTING PLAN & DETAILS
FOR
NEW OFFICE / RETAIL BUILDINGS
PETRO METALS, INC. & NORTH
PLANK DEVELOPMENT Co., L.L.C.
WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

6 OF 8
Project No. 9910



LEGEND

EXISTING	NEW
28.4 5' CONTOUR	SILT FENCE
28.0 10' CONTOUR	TEMPORARY DIVERSION SHALE
	EXCAVATED DROP INLET PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	FINISHED GRADE
	CATCH BASIN
	STORM SEWER
	STRAIN BALE

EROSION & SEDIMENT CONTROL MEASURES

Temporary Diversion Shaless
Temporary diversion shaless will be installed in the locations indicated on the drawing for the purpose of diverting stormwater. Shaless shall be maintained until the regraded area is stabilized with permanent seeding.

Stabilized Construction Entrance
Temporary gravel construction entrance shall be installed immediately adjacent to the existing existing macadam pavement. During wet weather it may be necessary to wash vehicle tires at this location. The entrance shall be graded off so that runoff will be directed to a catch basin and away from the macadam pavement. All sediment shall be prevented from entering catch basins.

Silt Fence
Silt fences shall be installed in the locations specified above, around topsoil stockpile areas, and at the base of all disturbed slopes.

Land Grading
Final land surfaces will be graded as indicated on the plans. Areas to be filled shall be cleared, grubbed, and stripped of topsoil. Remove trees, vegetation, roots or other objectionable material. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.

-Cut slopes will be 3:1 or flatter for maintenance by mowing, and roughened for vegetative establishment.

-Unless otherwise noted, temporary seed bare soil within 15 days of exposure unless construction will begin within 30 days. If construction is suspended, or sections completed, areas shall be seeded and mulched immediately.

-Topsoil required for the establishment of vegetation will be stockpiled in amount necessary to complete finished grading of all exposed, non-sodded, areas.

-Areas which are to be topsoiled shall be scarified to a minimum depth of three inches prior to placement of topsoil.

Dust Control
Construction operations shall be scheduled to minimize the amount of area disturbed at one time. Buffer areas of vegetation shall be left where indicated. The site can be sprinkled with water until the surface is wet. The following spray adhesives can be used on mineral soils.

Material	Water Dilution	Type of nozzle	Apply Gallons per acre
Acrylic Polymer	4:1	Coarse Spray	500
Latex Emulsion	12.5:1	Fine Spray	225
Resin in water	4:1	Fine Spray	300

Temporary And Permanent Seeding
Seeding preparation includes removal of debris and obstacles such as rocks and stumps, scarify soil if compacted. Adjust pH to 6.0 with lime, and fertilize with 600 lbs of 5-10-10 or equivalent per acre. All disturbed areas shall be temporarily seed if construction does not resume in 15 days.

-Apply permanent seeding consisting of:
Empire birdfoot trefoil or common white clover 8 lbs per acre
Plus tall fescue 20 lbs per acre
Plus Ryegrass 8 lbs per acre

-Apply temporary seeding consisting of Ryegrass (annual or perennial) at 30 lbs per acre.

-The optimum time for permanent seeding is in the spring from March 21 through May 20, and in late summer and early fall from August 25 to October 15. Permanent seedings may be made any time of year if properly mulched and adequate moisture is provided. Broadcasting, drilling with cultipack type seeder or hydroseeding are acceptable.

Topsoil/Mulching
Where vegetation will be established, preserve and apply existing topsoil and friable fine textured subsoil that are stripped during excavation. Complete rough grading and final grading, allowing for depth of topsoil to be added. Scarify all compact, slow permeable, medium and fine textured subsoil areas. In soil areas that are steeper than 5 percent, scarify at approximately right angles to the slope. Remove refuse, woody plant parts, stones over 3 inches in diameter, and other litter.

-Topsoil shall have a minimum of 2 percent, and a maximum of 6 percent by weight of fine textured stable organic material. Topsoil shall have not less than 20 percent fine textured material (passing the No. 20 sieve) and not more than 15 percent clay. Topsoil shall be relatively free of stones over 1 1/2 inches in diameter.

-Topsoil shall be placed at a uniform depth of 2 inches for the steep slopes, and 4 inches for the lawn areas. Topsoil shall not be placed when it is partly frozen, muddy, nor on frozen slopes or over ice, snow, or standing water. Topsoil placed and graded on slopes steeper than 5 percent shall be promptly fertilized, seeded, mulched and stabilized by "tracking" with suitable equipment.

-If soil is compacted or crusted, surface should be loosened to at least two inches by disking or other suitable methods. Straw mulch (small grain) is preferred applied at an application rate of 2 tons per acre, and anchored with wood fiber mulch (hydromulch) at 500-750 lbs per acre. The wood fiber mulch must be applied through a hydroseeder immediately after mulching.


MAINTENANCE REQUIREMENTS AND SCHEDULES
EROSION AND SEDIMENT CONTROL MEASURES
All erosion and sediment control measures shall be inspected for stability and operation following every runoff producing rainfall but in no case less than once every week. Any needed repairs shall be made immediately to maintain all measures as designed.

-Sediment shall be removed from behind the silt fence when it becomes approximately 6 inches deep at the fence. Insure that no concentrated flows are directed towards the fence. Replace the silt fence when "bulges" develop in the fence.

-All seeded areas shall be fertilized, re-seeded as necessary, and mulched to maintain a vigorous, dense vegetative cover.

-Sediment spilled, dropped, or washed onto existing macadam roadways must be removed immediately. All sediment shall be prevented from entering the storm drains. Additional aggregate shall be added to the stabilized construction entrances as required.

-Maintain dust control measures through dry weather periods until all disturbed areas are stabilized.

**Shaw Engineering**
Consulting Engineers
744 Broadway
Newburgh N.Y. 12550

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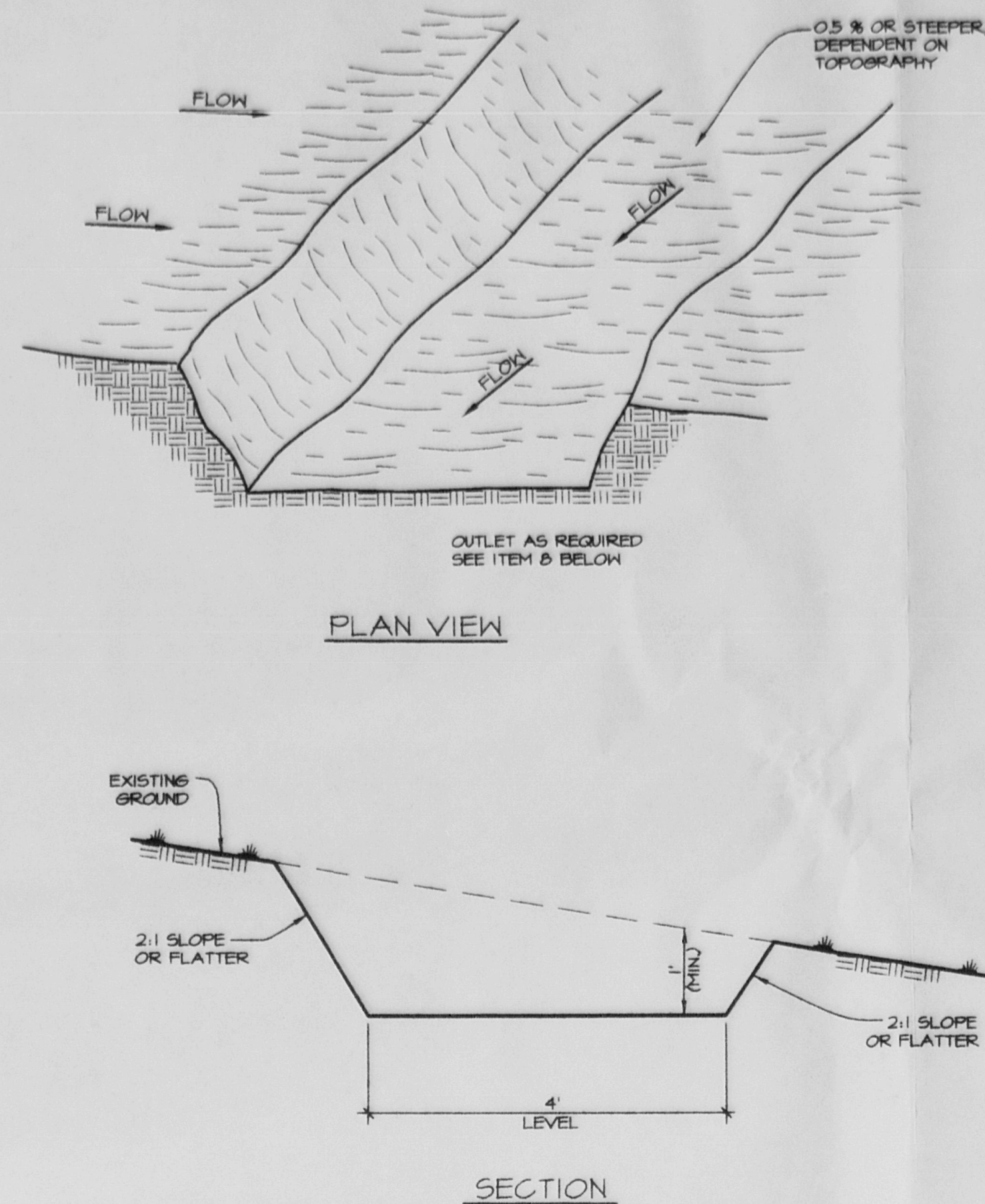
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ISSUE	REVISION	DATE

Drawn By: J.R.J.
Checked By: G.J.S.
Scale: 1"=20'
Date: 3-14-2000

Drawing:
EROSION CONTROL PLAN & MEASURES
Project:
NEW OFFICE / RETAIL BUILDINGS FOR
PETRO METALS, INC. & NORTH PLANK DEVELOPMENT CO., L.L.C.
WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

7
OF
8
Project No.
9910

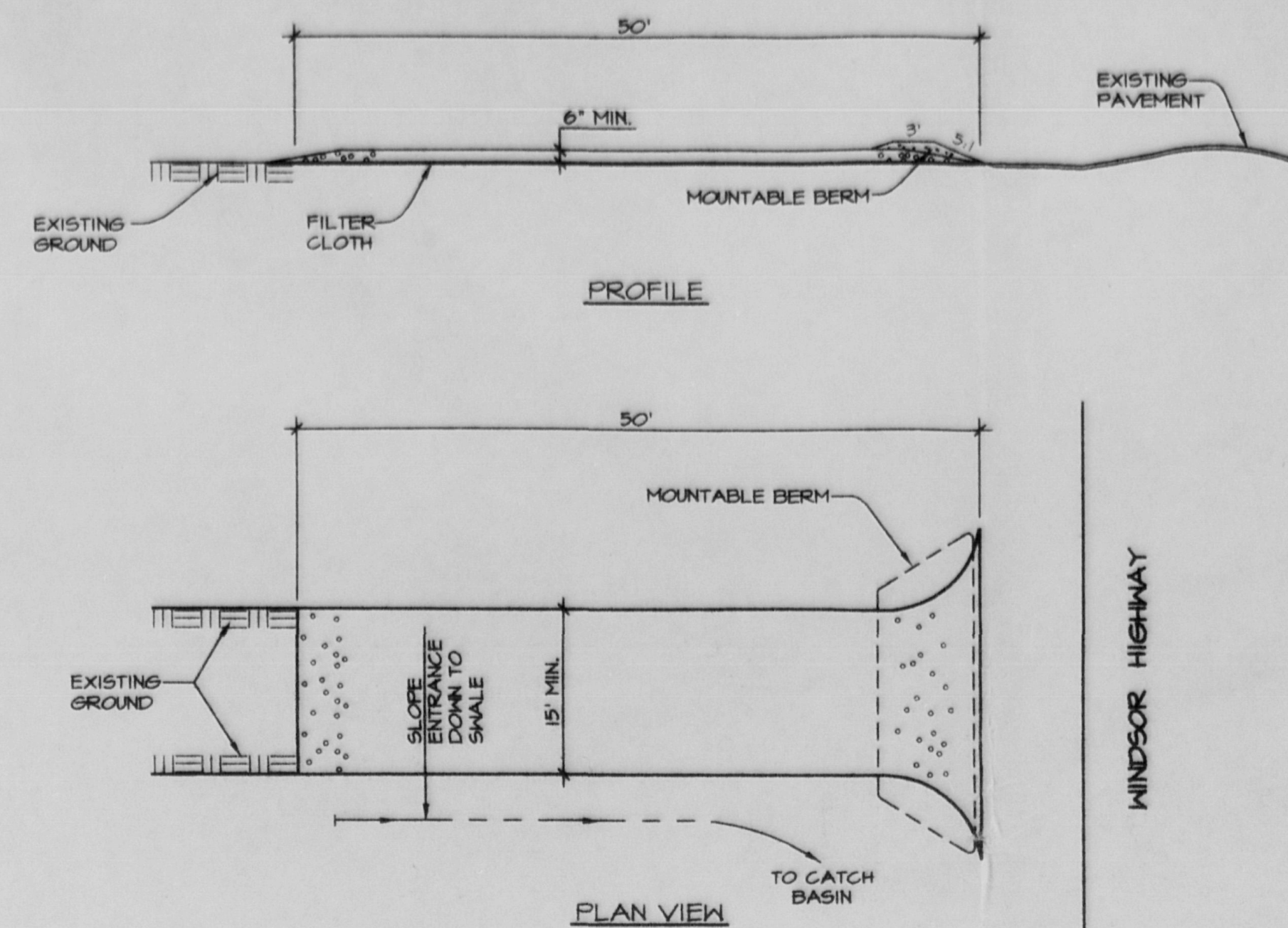


TEMPORARY SWALE DETAIL

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 - DIVERTED RUNOFF FROM DISTURBED AREAS SHALL BE CONVEYED TO A STORM INLET SEDIMENT TRAP.
 - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 - ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 - THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 - FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 - ALL EARTH REMOVED AND NOT NEEDED ON CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 - STABILIZATION SHALL BE AS PER THE CHART BELOW:
- | TYPE OF TREATMENT | CHANNEL GRADE | SWALE A. (2% AG. OR LESS) |
|-------------------|----------------------|---------------------------|
| 0.5-3.0% | SEED AND STRAW MULCH | |
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

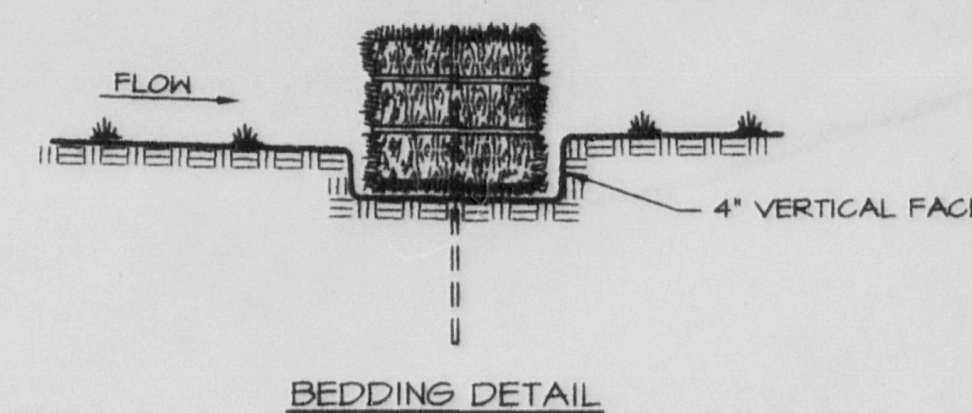


STABILIZED CONSTRUCTION ENTRANCE DETAIL

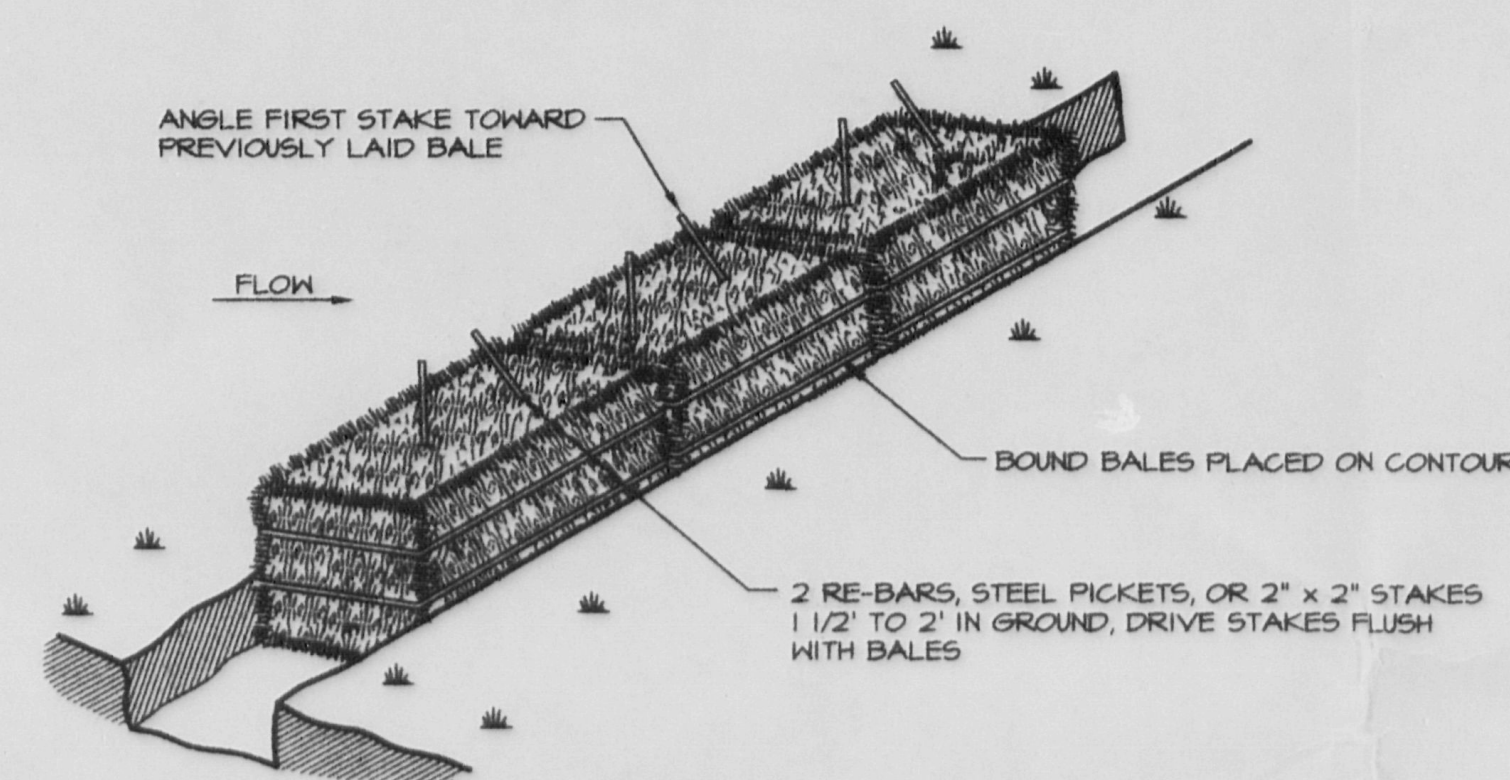
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - FIFTY (50) FEET
- THICKNESS - SIX (6) INCHES.
- WIDTH - FIFTEEN (15) FEET, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE DIRECTED TO A SWALE DISCHARGING TO A SEDIMENT TRAPPING DEVICE. PROVIDE A MOUNTABLE BERM WITH 5:1 SLOPES.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO ROADWAY MUST BE REMOVED IMMEDIATELY.
- WHEN VEHICLE WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



DRAINAGE AREA NO MORE THAN 1/4 ACRE PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

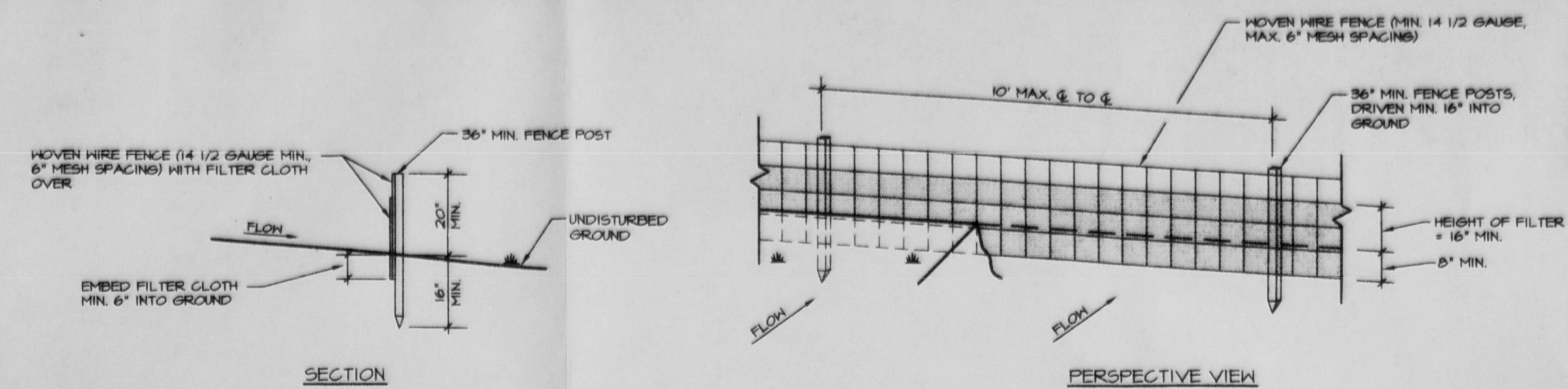


STRAW BALE DIKE

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



SILT FENCE DETAIL

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

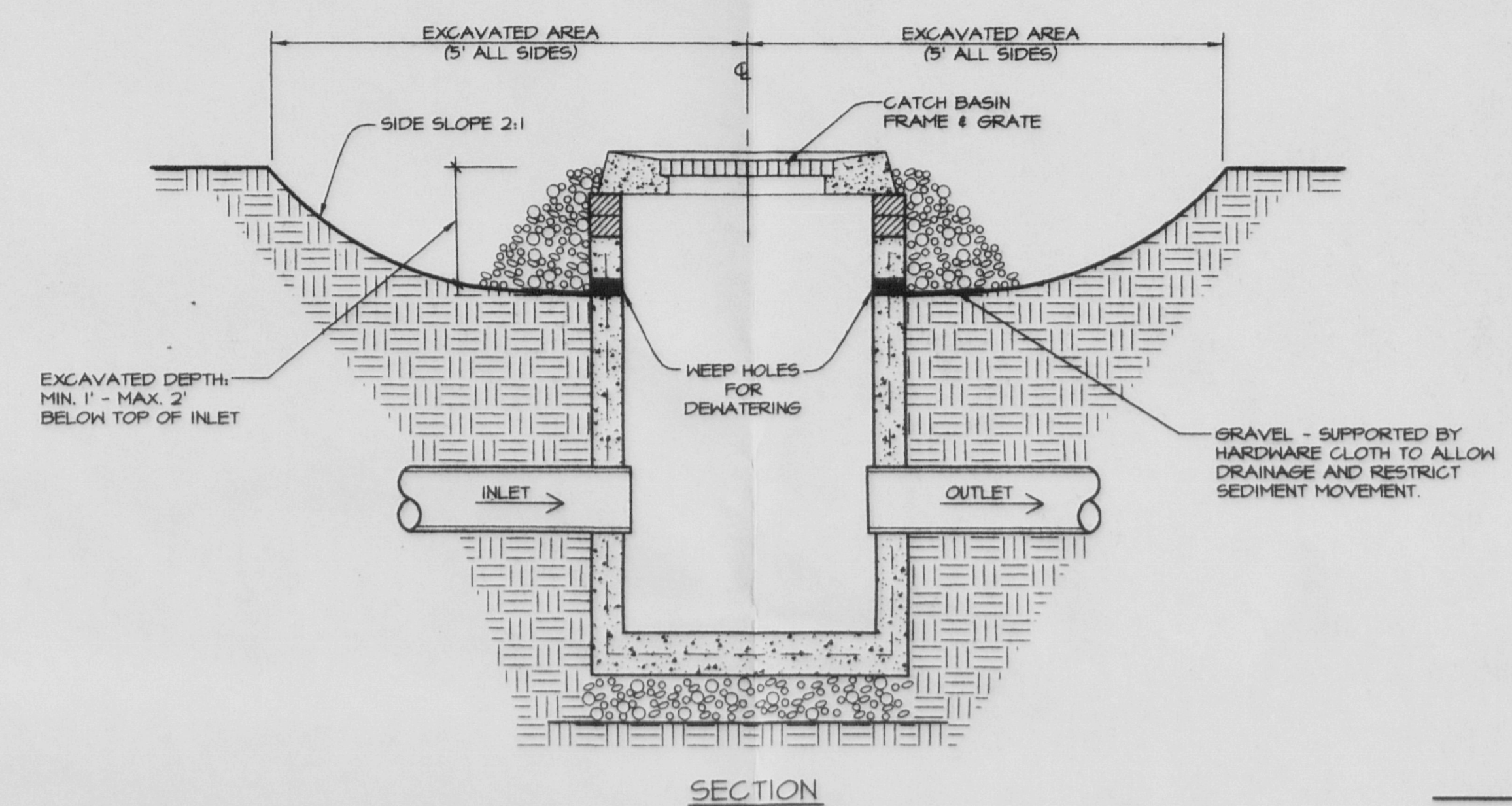
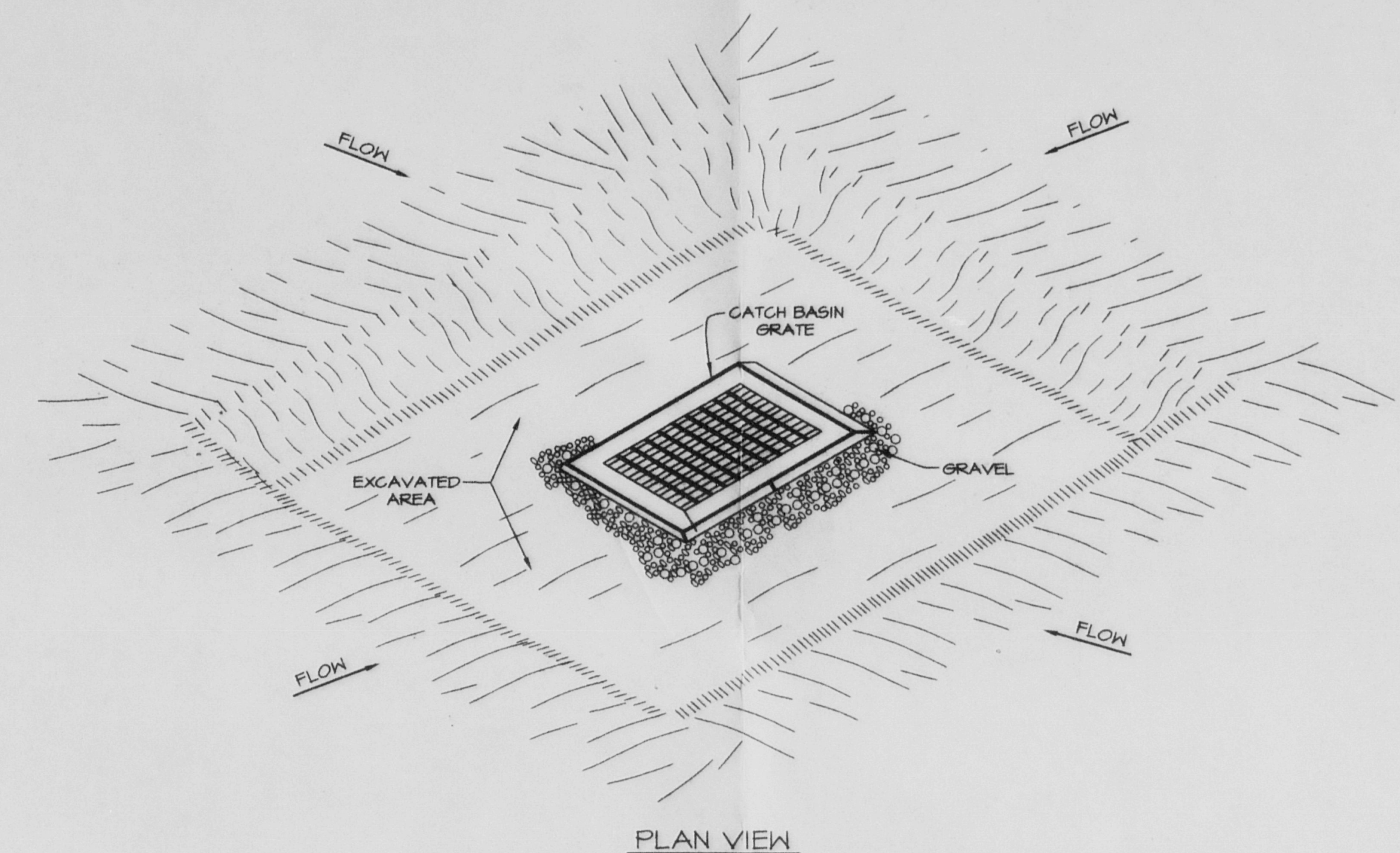
- HOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO HOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

POSTS:
STEEL EITHER "1" OR "1 1/2" TYPE OR 2" HARDWOOD

FENCE:
HOVEN WIRE, 14 1/2 GAUGE 6" MAX. MESH OPENING

FILTER CLOTH:
FILTER K, HIRAFI 100% STABILIZATION OR APPROVED EQUAL

PREFABRICATED UNIT:
GEOTAB, ENVIROFENCE, OR APPROVED EQUAL



EXCAVATED DROP INLET PROTECTION DETAIL

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- KEEP HOLES SHALL BE PROTECTED BY GRAVEL.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL KEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDINGS.

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL